

OFFICIAL MINUTES
SUMMERSET PLANNING AND ZONING COMMISSION
REGULAR MEETING
MONDAY, OCTOBER 7th, 2024 @ 6:00 P.M.

The meeting was called to order by Chairman Brody Oldfield at 6:00 p.m.

ROLL CALL: Dustin Hirsch (via telephone), Mitchell Woldt, Casey Kenrick and Brody Oldfield were present. Absent: Brittini Bjorum. Also present was the City Administrator and City Attorney.

CALL FOR CHANGES: Motion by Kenrick, second by Hirsch to approve the agenda of the meeting for October 7th, 2024. Motion carried.

CONSENT CALENDAR: Motion by Woldt, second by Kenrick to approve the minutes of the regular meeting of September 10th, 2024. Motion carried.

ZONING HEARING – BLACK RIVER RE, LLC.

Motion by Kenrick, second by Woldt, to open discussion. Motion carried.

City Administrator Lisa Schieffer informed the Board that Black River was looking to zone the property as C1-General Commercial, which fits the ordinance and currently there is another platted lot across from it that is zoned General Commercial as well.

Motion by Kenrick, second by Woldt to close discussion. Motion carried.

Motion by Woldt, second by Hirsch to recommend approval of the C1-General Commercial Zoning to the Board of Commissioners. Motion carried.

Motion by Kenrick, second by Woldt to take the matter of the four (4) variances and minor plat off the table from the September 10th meeting. Motion carried.

VARIANCE FOR NON-ANNEXATION INTO THE CITY OF SUMMERSET – MICHAEL GOOSEN

Motion by Kenrick, second by Woldt, to open discussion on the variance. Motion carried.

Mr. Goosen stated to the Board that he did not want to be annexed into the city and that nothing had changed. He cannot comply with the ordinances and therefore does not want to be annexed.

Phil Olsen expressed his concerns about proper growth and that this is a way to bypass city ordinances.

Marla Paulsen expressed her concerns on the representation of the area for a clean, tidy area in the community.

Mike Paulsen expressed his concerns that Mr. Goosen keeps moving forward with putting items on his property and not getting permitted for the same.

Iris Olsen stated the problem that she has is there is a storage building, house, barn and two trailer houses. There is a non-drivable car. There is only supposed to be one dwelling on a lot.

City Attorney Mike Wheeler gave an overview to the group on what would be required of Mr. Goosen if he was to be annexed into the city.

Motion by Woldt, second by Kenrick to close discussion. Motion carried.

Motion was made by Kenrick, second by Woldt to recommend to the Board of Commissioners denying the variance for non-annexation into the city. Motion carried.

VARIANCE FOR SETBACKS – MICHAEL GOOSEN

Motion by Kenrick, second by Woldt, to open discussion. Motion carried.

Phil Olsen stated to the Board that when Mr. Goosen put the shed on his property, he could have followed the setbacks at that time and did not. Olsen stated to the Board that he is frustrated with the process.

Mr. Goosen stated that he went to Meade County because he is in the County and has had four surveyors come out and look at the same.

Motion by Kenrick, second by Woldt to close discussion. Motion carried.

Motion by Woldt, second by Kenrick to recommend approval to the Commission on the setbacks. Motion carried.

VARIANCE ON 8' MINOR DRAINAGE & UTILITY EASEMENT THROUGHOUT BOTH LOTS – MICHAEL GOOSEN

Motion by Woldt, second by Kenrick, to open discussion. Motion carried.

City Administrator Lisa Schieffer gave a brief overview of HDR's review findings. Phil Olsen again stated he didn't think the process was necessary and why was the Board looking at the variances if he was not going to be annexed in.

Mr. Goosen stated he was not going to be annexed to the Board.

Motion by Kenrick, second by Woldt to close discussion. Motion carried.

Motion by Kenrick, second by Woldt to recommend approval to the Commission on the 8' minor drainage & utility easement throughout both lots. Motion carried.

VARIANCE FOR SHARED DRIVEWAY ACCESS – MICHAEL GOOSEN

Motion by Kenrick, second by Woldt, to open discussion. Motion carried.

The Board discussed the property across the street owned by Justin Rudland and access was not granted by SDDOT.

Mr. Goosen explained that it is the only way he can get a driveway into the lot.

Justin Rudland explained to the Board that SDDOT must have 550 feet in between approaches.

Motion by Kenrick, second by Woldt to close discussion. Motion carried.

Motion by Woldt, second by Kenrick to recommend approval to the Commission on the shared driveway. Motion carried.

MINOR PLAT – MICHAEL GOOSEN

Motion by Kenrick, second by Woldt, to open discussion. Motion carried.

City Administrator Lisa Schieffer gave a quick overview of the application for a minor plat.

Motion by Woldt, second by Kenrick to close discussion. Motion carried.

Motion by Woldt, second by Kenrick to recommend approval of the minor plat, contingent upon the same being annexed into the City of Summerset.

ADJOURNMENT

Motion by Kenrick, second by Woldt to adjourn the meeting at 6:52 p.m. Motion carried.

Brielle Schrock, Finance Officer

Brody Oldfield, Chairman



COMMUNITY PLANNING & DEVELOPMENT SERVICES

City of Summerset

7055 Leisure Lane, Summerset, SD 57718

Phone: (605) 718-9858

Fax: (605) 718-9883

Web: www.summerset.us

APPLICATION FOR DEVELOPMENT REVIEW

REQUEST (please check all that apply)

- Annexation
- Comprehensive Plan Amendment
- Fence Height Exception
- Planned Development (Overlay)
 - Designation
 - Initial Plan Final Plan
 - Major Amendment
 - Minimal Amendment

- Subdivision
 - Layout Plan
 - Preliminary Plat
 - Final Plat
 - Minor Plat
- Rezoning
- Road Name Change

- Conditional Use Permit
 - Major Amendment
 - Minimal Amendment
- Vacation
 - Utility / Drainage Easement
 - R.O.W. / Section Line Highway
 - Access / Non-Access
 - Planting Screen Easement
- OTHER (specify) _____

LEGAL DESCRIPTION (Attach additional sheets as necessary)

EXISTING

10885/10891 Freedom Trl. (LOT 3B + LOT 3A OF LOT 4 Bk 10)

PROPOSED

LOCATION

Size of Site-Acres	.20 acres	Square Footage	Proposed Zoning
DESCRIPTION OF REQUEST:			Utilities: Private <input checked="" type="checkbox"/> Public
Take 2 lots + make into 1			Water
			Sewer

APPLICANT

Name Lyon LLC Phone 605- [REDACTED]
 Address 13169 Bethlehem Rd. E-mail [REDACTED]
 City, State, Zip Piedmont SD 57769 Signature Kristi Lyon Date 6/25/24
PROJECT PLANNER - AGENT

Name _____ Phone _____
 Address _____ E-mail _____
 City, State, Zip _____ Signature _____ Date _____

OWNER OF RECORD (If different from applicant)

Name _____ Phone _____
 Address _____ E-mail _____
 City, State, Zip _____

Property Owner Signature Ronald E. Lyon Date _____
 Property Owner Signature Kristi Lyon Date 6-25-24

Signature _____ Date _____
 Print Name: Ronald Lyon
 Title*: member

Signature _____ Date _____
 Print Name: Kristi Lyon
 Title*: member

*required for Corporations, Partnerships, etc.

FOR STAFF USE ONLY

ZONING	
Current	
North	
South	
East	
West	
Planner	
File No.	
Comp Plan	
Received By:	

- Sewer Utility
- Fire Department
- Public Works
- Planning
- Building Inspector
- Engineering
- City Code Enforcement
- Police
- City Attorney
- BHP&L
- Finance Officer
- Register of Deeds
- County - Planning
- SD DOT
- SD DENR
- Auditor - Annexation
- Drainage
- Parks & Recreation
- Diamond D Water
- Black Hills Water
- Other: _____
- Other: _____
- Other: _____
- Other: _____

Planning and Zoning Meeting Date: _____ Covenants filing fee? Yes No
 Commission Meeting Date: _____ Payment Type: Cash Check Credit Card
 Date Paid: _____

COUNTY TREASURER'S CERTIFICATE

I, Treasurer of Meade County, South Dakota, do hereby certify that all taxes which are due on the land described herein, as shown by the records of my office, are duly paid.

Dated this _____ day of _____, 20____.

Meade County Treasurer

CERTIFICATE OF CITY FINANCE OFFICER

I, Finance Officer of the City of Summerset, South Dakota, do hereby certify that the foregoing instrument is a true and correct copy of the resolution adopted by the City Commission of the City of Summerset, South Dakota at a meeting held on the _____ day of _____, 20____.

Finance Officer of the City of Summerset

CERTIFICATE OF CITY FINANCE OFFICER

I, Finance Officer of the City of Summerset, do hereby certify that all special assessments which are liens upon the within described lands are fully paid according to the records of my office.

Dated this _____ day of _____, 20____.

Finance Officer of the City of Summerset

CERTIFICATE OF PLANNING COMMISSION

The City of Summerset Planning and Zoning Commission certifies it has reviewed the final plat and hereby recommends approval to the City Commission of the City of Summerset, South Dakota.

Dated this _____ day of _____, 20____.

Planning Commission Member

RESOLUTION OF CITY COMMISSION

Whereas there has been presented to the City Commission of the City of Summerset, South Dakota, a certain plat of land described as follows, and it appears to this Council of Commissioners that:

- The system of streets set forth therein conforms to the system of streets of the City of Summerset, South Dakota;
- All provisions of the City Subdivision Regulations have been complied with, and
- All taxes and special assessments upon the Tract or Subdivision shown hereon have been paid;
- And such plat and survey thereof have been executed according to law.

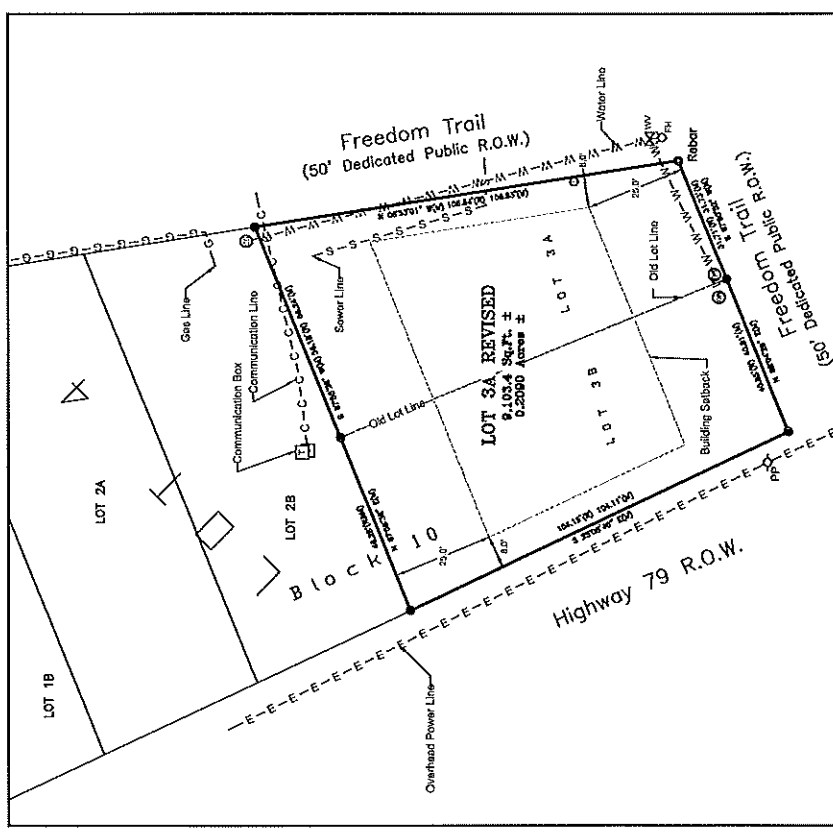
NOW THEREFORE, BE IT RESOLVED that said plat is hereby approved in all respects.

Dated at Summerset, South Dakota

this _____ day of _____, 20____.

Mayor of the City of Summerset

Lot 3A Revised of Lot 4 of Block 10 of Summerset USA.
(Formerly Lot 3A and Lot 3B of Lot 4 of Block 10)
Located in the SE1/4 of Section 20, Township 3 North,
Range 6 East, Black Hills Meridian, Meade County, South Dakota.



CERTIFICATE OF HIGHWAY OR STREET AUTHORITY

The location of the proposed access to the Highway or Street shown hereon is hereby approved. Any change in the location of the proposed access shall require additional approval.

Dated this _____ day of _____, 20____.

Highway or Street Authority

CERTIFICATE OF DIRECTOR OF EQUALIZATION

I, Director of Equalization of Meade County, South Dakota, do hereby certify that I have on record in my office a copy of the within described plat.

Dated this _____ day of _____, 20____.

Meade County Director of Equalization

SURVEYOR'S CERTIFICATE

I, Sharon E. Veldner, 2305 Junction Avenue, Sturgis, SD, being a duly Licensed Professional Surveyor in the State of South Dakota, do hereby certify that at the request of the Owners listed hereon, I have surveyed upon the ground the boundaries in the manner shown, and that the same conform to the provisions of the Subdivision Regulations, Easements or Restrictions of Miscellaneous Record or Private Agreements that are not known to me are not shown hereon.

IN WITNESS WHEREOF
I hereunto set my hand and seal

this _____ day of _____, 20____.

Sharon E. Veldner
Registered Land Surveyor No. 7719

OWNER'S CERTIFICATE

We, LYON, LLC do hereby certify that we are the owners of the land shown and described hereon, and that we did acquire and do join in the development of this land shall conform to all existing applicable zoning, subdivision, and erosion and sediment control regulations. Declared right-of-way as shown hereon is dedicated to public use.

IN WITNESS WHEREOF
We hereunto set our hands this _____ day of _____, 20____.

Kristi Lyon, Manager
LYON, LLC

ACKNOWLEDGEMENT OF OFFICERS

STATE OF SOUTH DAKOTA }
COUNTY OF _____ } SS

On this _____ day of _____, 20____, before me, the undersigned officer, personally appeared _____, known to me to be the owner of the land shown on the foregoing Certificate and acknowledged to me that they executed the same for the purposes herein contained.

IN WITNESS WHEREOF, I hereby set my hand and official seal.

Notary Public _____
My commission expires: _____

OFFICE OF REGISTER OF DEEDS



Plat Review

<input checked="" type="checkbox"/>	Boundary Lines of the area being subdivided are tied to the nearest established street line, section corner, other previously described subdivision, or other recognized permanent monuments accurately described per SDCL-43-18, 43-20, and 43-21
Comments	
<input checked="" type="checkbox"/>	Location of all monuments and permanent control points, and all survey pins, either set of located as required by SDCL 43-18, 43-20, and 43-21.
Comments	All survey corners found.
<input checked="" type="checkbox"/>	Plat identifies and delineates any portions of the property intended to be dedicated or granted for public use such as drainage facilities, schools or park land.
Comments	N/A
<input checked="" type="checkbox"/>	All dimensions, both linear and angular, necessary for locating the boundaries of the subdivision lots, streets/roads, alleys, easements, and other areas for public or private use are shown to the nearest 1/100 of a foot.
Comments	
<input checked="" type="checkbox"/>	Dimensions are identified for the radii, chords, length of curve, point of tangency, and central angles for all curvilinear streets/roads and radii for rounded corners.
Comments	
<input checked="" type="checkbox"/>	The boundary lines of the floodway and 100-year flood zones, along with the base flood elevation on each lot as delineated on the Flood Insurance Rate Maps (FIRM) are illustrated.
Comments	Note indicates the FEMA FIRM shows this as a Zone X and Zone AE area.
<input type="checkbox"/>	If existing buildings are present, building outline(s) must be illustrated to verify setbacks and lot area requirements and ensure current and proposed easements are clear of obstructions.
Comments	No existing buildings on site, however, the shown building setbacks don't appear to meet the requirements of Summerset Ordinance 155. The proposed lot is considered a corner lot which requires two front and two side lot lines, and the definition of front lot line is the line separating the lot from the street. So, this lot should have two 25' setbacks off two of the three abutting streets. As currently shown the building only has a 25' setback off the Freedom Trail turnaround but neither of the other abutting streets. An approved variance would be needed for the proposed building location, or the owner should shift the building location to get 25' from either Highway 79 or Freedom Trail.

Certifications

<input checked="" type="checkbox"/>	Acknowledgment of the Owner or Owners of the plat of any restrictions, including dedication to public use of all streets/roads, alleys, parks or other open spaces shown thereon and the granting of easements required; as well as the use of any required common areas is included.
Comments	
<input checked="" type="checkbox"/>	Acknowledgement of Registered Land Surveyor
Comments	
<input checked="" type="checkbox"/>	Acknowledgement of City Finance Officer
Comments	
<input checked="" type="checkbox"/>	Acknowledgement of County Treasurer
Comments	
<input checked="" type="checkbox"/>	Acknowledgement of County Official of Equalization



Plat Review

Comments

- Acknowledgement of all relevant Street and/or Highway Authorities

Comments

- Acknowledgement of Planning Commission

Comments

- Board of Commissioners Resolution, signed by the Mayor and the Finance Officer

Comments

- Register of Deeds Recording area

Comments

Comments from the City Council and the Planning & Zoning Committee may also be included with this review.

The next City Council Meeting is scheduled for: Thursday, November 21, 2024

The next Planning & Zoning Meeting is scheduled for: Tuesday, November 12, 2024

The following additional comments have been shared by various members of the City's Planning & Zoning Committee and City Council:

FREEDOM TRAIL TURN AROUND STREET IMPROVEMENTS SUMMERSET, SOUTH DAKOTA TDG PROJECT NO. 24-075

ONE CALL
BEFORE DIGGING
1-800-781-7474

SOUTH DAKOTA



SUMMERSET



PROJECT LOCATION MAP
NOT TO SCALE

INDEX OF SHEETS

- 1 TITLE
- 2-4 GENERAL NOTES / LEGEND
- 5 EROSION CONTROL
- 6 EXISTING CONDITIONS AND REMOVALS
- 7 SITE PLAN
- 8-9 DETAILS

PROJECT NAME:
FREEDOM TRAIL TURN AROUND

CURRENT ADDRESS:
FREEDOM TRAIL

LEGAL DESCRIPTION:
LOT 4 BLK 10

DESCRIPTION:
FREEDOM TRAIL STREET
IMPROVEMENTS TURN AROUND

RIGHT-OF-WAY:
OTHER STREETS - VARIES

**PRELIMINARY
FOR REVIEW ONLY**
NOT FOR CONSTRUCTION

CERTIFY THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED
UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE OF SOUTH DAKOTA.

ENGINEER: _____ DATE: _____

PLANS FOR

PLANS BY

TDG
Towey Design Group
475 Villa Drive, Suite #3
Box Elder, SD 57719
605.600.3758

CITY APPROVAL

CONSTRUCTION SERVICES

SHEET NAME:
TITLE

SHEET NO:
1

Specifications To Be Used

All work shall be constructed in accordance with the City of Summerset Design Criteria, City Ordinances, and the City of Rapid City Standard Specifications and Public Works Construction and Details 2022 Edition currently adopted by the City of Summerset.

The Contractor shall notify the Engineer of conflicts between drawings, Project Manual, and the Standard Specifications.

Project Note

This plan set includes information for a turnaround at the end of Freedom Trail within the City of Summerset at South Dakota. Street improvements included curb and gutter, concrete pan, grading and asphalt pavement.

Progress Meetings

Progress meetings will be held at least bi-weekly, and more frequently in critical areas. The bi-weekly meeting schedule will be established at the preconstruction meeting.

Progress meetings will be held at an offsite location arranged by the Contractor.

Erosion and Sediment Control

The Contractor is responsible to implement and maintain the erosion and sediment control plan, located within the project drawings, and in accordance with the City of Rapid City Stormwater Quality Manual, the Standard Specifications and other SDDANR rules and regulations.

The Contractor is advised that several agencies have the authority to "Stop Work" if the pollution prevention control is not implemented or is not effective. No compensation will be forthcoming for "Time Lost" due to a "Stop Work Order".

Project Coordination

The Contractor is responsible for coordinating work with all adjacent property owners that will be temporarily impacted by construction of this project.

Project Record Drawings and Documents

The Contractor shall measure and record any horizontal or vertical deviations from the contract drawings. The changes shall be recorded in an as-built fashion on the contract drawings. The Engineer will be responsible for providing all necessary information for the as-built drawings. The as-built drawings shall be provided for the Engineer upon request. Specifications outlining the Contractor's responsibilities are provided in Section 01780 of the Detailed Specifications. Horizontal and vertical locations of the 48-inch RCP deflections shall be surveyed during construction by the Contractor and provided to the Engineer.

Preconstruction Meeting

A preconstruction meeting will be scheduled and will require attendance by the Contractor and all subcontractors working on the project. The preconstruction meeting will not be scheduled until all required submittals have been received and approved.

Stockpiled Materials

Requests for payment for stockpiled materials shall be accompanied by invoices with the respective bid item number indicating the stockpiled materials. The Contractor shall be fully responsible for the storage and protection of stockpiled materials. The Contractor shall be responsible for the stockpiled materials considered for payment shall be stored within the project limits as identified on the plans, or at a secure location accessible to the Owner's representative.

Construction Schedule

The Contractor shall prepare and submit a detailed construction schedule a minimum of ten (10) working days prior to the preconstruction meeting. The construction schedule shall be approved by the Engineer prior to issuing the notice-to-proceed.

The construction schedule shall be prepared using industry standard project management software. The schedule shall show the work in a horizontal bar chart or other graphic format indicating times (in days or by dates) for starting and completing various stages of work. The construction schedule shall include sufficient detail to track all major work items, specialty work, delivery of materials, traffic control, phasing and sequencing of work, final surface restoration, significant milestones, etc. The schedule shall be submitted in paper form.

The Contractor shall update the construction schedule at the request of the Engineer, if, in the Engineer's opinion, it no longer represents the actual prosecution and progress of work. The Contractor shall also submit an updated construction schedule in the event the Contractor's planning for the work is revised.

Submittals

Submittals are required for all items listed below and as required in the detailed specifications. A submittal schedule is provided in Section 01530 of the Detailed Specifications. The submittal schedule will be utilized throughout construction by the Contractor and Engineer for tracking of submittals.

The Contractor shall submit the following items to the Engineer a minimum of ten (10) working days prior to the preconstruction meeting:

- Detailed construction schedule;
- Traffic control plan for the entire project;
- A copy of the notice of intent to the SDDANR (prepared by the Contractor and submitted to the Owner);
- A copy of the Contractor's SDDANR temporary discharge permit;
- A copy of the Contractor's Stormwater Pollution Prevention Plan;
- List of licensed pipe installers who will be on the project;
- Certificate of insurance for railroad permit.

The Engineer will not schedule the preconstruction meeting until all the items listed above have been submitted and approved.

Utilities

The information on these drawings concerning the type, size, and location of utilities has been shown based upon the best information available at the time of the design survey. The Contractor is responsible for determining the exact location of utilities prior to beginning construction. The Contractor is responsible for protecting all existing utilities in place.

The Contractor shall coordinate all relocations with the utility companies. Electric, telephone, television, fiber and gas utilities may be adjusted and/or relocated by the respective utility companies.

Permits

The Contractor shall be responsible for obtaining all necessary permits for this project including, but not limited to, the following:

PERMIT:	NOT REQUIRED		BY CITY		BY CONTRACTOR		NOTES
Contractor Authorization Form, SDDANR SWPPP		X	X	X	X	X	NOI by City
SDDANR Permit for Temporary Discharge				X	X	X	If needed
City of Summerset Grading Permit					X	X	
City of Summerset & Sediment Control					X	X	
City of Summerset Air Quality Permit						X	

Protection Of Existing Features

Existing features, including trees, landscaping, pavements, structures, etc., not called out for removal; or remove and reset; shall be protected by the Contractor. Methods of protection shall be submitted to and approved by the Engineer prior to construction.

Construction Limits

In general, the construction limits for the project shall be defined as property lines, right-of-way lines, existing utility easement and temporary construction easement lines unless indicated otherwise on the drawings or further defined herein.

Construction activities shall be restricted to the construction limits unless prior approval is received from the Engineer.

Staging Areas

A designated staging area has not been identified in these plans. If the Contractor wishes to stage materials in locations outside the work limits, the Contractor is responsible for obtaining written permission from the owner of the proposed location and the Engineer. Copies of any written permission shall be delivered to the Engineer. The Contractor shall be responsible for any necessary permits for the staging area.

Contractor Furnished Staking

All staking on the project will be by the Contractor in accordance with the Standard Specifications. Payment for Contractor-furnished staking will be at the contract lump sum price for "Construction Staking".

Incidental work

This work includes all miscellaneous items not included under the regular items covered by unit prices as listed in the proposal, but which must be performed in order to complete the contract. Incidental work includes, but is not limited to the following:

- Dust control;
- Coordinate with/adjust private utilities;
- Protection of existing features/utilities;
- Coordinate with RCPE Railroad;
- Railroad Flagging
- Applicable permits and fees to complete the project;
- Existing utility location and verification;
- Exploratory excavation;
- Project coordination, including landowner, public service announcements, etc.;
- Waste disposal site;
- Dewatering;
- Water for compaction;
- Grading around inlets and outlets;
- Water main abandonment.

Material Stockpile Identification

The Contractor shall clearly identify material stockpiles so that material types and uses are clearly identified, for example - bedding, base course, gravel cushion for sidewalk, topsoil, overburden, foundation, etc.

Project acceptance and warranty period

The warranty period for this project shall conform to Section 7.65 of the standard specifications with the exception that the warranty period will not begin until the project is 100% complete and shall be based on completion of different phases.

Material Ticket Submittals and Stockpiles

The Contractor shall clearly identify material stockpiles for various products used on the project, i.e. pipe bedding, temporary surfacing, gravel cushion, base course, cushion for sidewalk, driveways, etc. The Contractor shall submit all tickets for measurement and payment to the Inspector within 48 hours, per Standard Specifications. Any tickets received later than 48 hours will not be accepted and payment for that item will not be made. All tickets shall accompany the material to the site. No hand written tickets shall be allowed.

TDG

Towey Design Group, Inc.
475 Villa Drive, Suite #3
Box Elder, SD 57719
605.600.3758

LOGO:

PRELIMINARY
FOR REVIEW ONLY

REVISIONS:

JOB NUMBER: 24-075
DESIGNED BY: RW
DRAWN BY: OR
SURVEYED BY:
SURVEY DATE:

SHEET NAME:
GENERAL NOTES 1 OF 2
SHEET NO: 2

Right-of-Way Removal:

Landscape, and other associated items located within the right-of-way to be removed during construction shall be removed and salvaged to the landowner. It is the Contractor's responsibility to contact and coordinate with the landowner the location of where these items are to be placed.

Removal Quantities:

Estimated removal and abandonment quantities are provided in the plans. Quantities provided have been calculated based on the measurements of the removal area. Station and offsets are provided for general project location only. The Contractor shall field verify removal quantities if they believe the tabulated information is in error. If an error is found, the Engineer shall be immediately notified.

Removal of driveway and/or alley gravel surfacing shall be considered incidental to the contract bid price for "Excavation, Unclassified" and no separate payment will be made for removal of gravel surfacing. Plans quantity will be the basis for payment for removal items unless changes are directed by the Engineer. If changes are directed, the actual quantities removed will be measured by the Engineer and will be paid for at the unit prices under the respective remove bid items. Payment for removal items, unless noted to be salvaged, shall be full compensation for removal and disposal at an approved waste disposal site. If an item is called out to be removed and salvaged, payment under the respective bid item shall be full compensation for the removal and return of the item to its owner, including coordination and transportation.

Waste Disposal Site:

The Contractor will be required to furnish a site(s) for the disposal of construction/demolition debris generated by this project. Construction/demolition debris may not be disposed of within city, county or state rights of way.

The waste disposal site(s) shall be managed and reclaimed in accordance with the following from the general permit for highway, road, and railway construction/demolition debris disposal under the South Dakota Waste Management Program issued by SD DAWM:

The waste disposal site(s) shall not be located in a wetland, within 200 feet of surface water, or in an area that adversely affects wildlife, recreation, aesthetic value of an area, or any threatened or endangered species.

If the waste disposal site(s) is located such that it is within view of any ROW, the following additional requirements shall apply:

1. Construction/demolition debris, consisting of concrete, asphalt, concrete, or other similar materials shall be buried in a trench completely separate from wood debris. The final cover over the construction/demolition debris shall consist of a minimum of 1 foot of soil capable of supporting vegetation. Waste disposal sites provided outside of the city or state ROW shall be seeded in accordance with natural resources conservation service recommendations. The seeding recommendations may be obtained through the appropriate county NRCS office.

The Contractor shall control the access to waste disposal sites not within city or state ROW through the use of fences, gates and placement of a sign or signs at the entrance to the site stating "dumping allowed".

2. Concrete and asphalt concrete debris may be stockpiled within view of the ROW for a period of time not to exceed the duration of the project. Prior to project completion, the waste shall be removed from view of the ROW or buried and the waste disposal site reclaimed as noted above. The requirements will not apply to waste disposal sites that are covered by an individual solid waste permit as specified in SDCL 34A-6-58, SDCL 34A-6-1.13, and ARSD 74.27:10.06.

Failure to comply with the requirements stated above may result in civil penalties in accordance with South Dakota Solid Waste Law, SDCL 34A-6-1.31.

All costs associated with furnishing waste disposal site(s), disposing of waste, maintaining control of access (fence, gates, and signs), and reclamation of the waste disposal site(s) shall be incidental to the various contract items.

Granular Base Material:

Aggregates for granular base material shall conform to the requirements for aggregate base course or limestone ledge rock base course as specified in the Standard Specifications.

Placement of granular base material shall be in accordance with the Standard Specifications.

Estimated quantities were based upon an assumed in place density of 150 pounds per cubic foot.

Granular base material placed for sidewalk construction shall be considered incidental to the sidewalk bid item per the standard specifications unless otherwise specified. All other granular base material shall be paid for under the bid item for "Aggregate Base Course".

Gravel Surfacing:

Aggregates for gravel surfacing shall conform to the requirements for aggregate base course or limestone ledge rock base course as specified in Section 32.11.23 of the Standard Specifications

Placement of gravel surfacing shall be in accordance with the Standard Specifications.

Estimated quantities were based upon an assumed in place density of 150 lb/cu ft placed 6-inches thick. Payment for gravel surfacing will be made at the contract unit price per ton for "Gravel Surfacing, Permanent".

Portland Cement Concrete:

All concrete shall be Class M6 unless otherwise specified and approved by the Engineer. The Contractor may utilize up to 20% fly ash in the mix design for class M6 concrete.

Concrete Curb and Gutter:

Concrete curb and gutter construction and measurement shall be in accordance with Section 32.13.13 of the Standard Specifications.

Payment for type D curb and gutter will be made at the contract unit price per linear foot for "Concrete Curb & Gutter, Type D." Payment for type D curb and gutter will be made at the contract unit price per linear foot for "Concrete Gutter, Type D".

Reinforced Portland Cement Concrete Pavement:

Portland Cement Concrete Pavement shall conform to the requirements of Section 32.13.13 of the Standard Specifications. The final finish shall be with a carpet drag drawn over the surface in a longitudinal direction.

Brooming may be used on irregular areas as approved by the Engineer. Curing shall be accomplished utilizing the Liquid Membrane Curing Compound Method unless otherwise approved by the Engineer. The pavement surface shall be tested with a 10 Foot Straightedge with the permissible longitudinal and transverse surface deviation being 1/4 inch in 10 feet. Joints shall be sealed with a hot-poured elastic joint sealer. Joints in the adjacent curb and gutter shall be sealed in accordance with Standard Detail R0006 and R0007.

Expansion Joints in Concrete Pavement:

Concrete driveways and sidewalk placed adjacent to existing concrete or buildings/structures shall have preformed expansion joint filler placed along the new/old interface.

Preformed expansion joint filler shall be considered incidental to the various concrete bid items. No separate payment will be made.

Topsoil:

The Contractor is required to salvage topsoil from within the limits of the project and stockpile on site. Salvaging and stockpiling of topsoil will be paid for at the contract unit price per cubic yard for "Excavation, Unclassified." Payment for placing topsoil will be paid for at the contract unit price per cubic yard for "Topsoil, Place." Plans quantity will be the basis of payment for "Topsoil, Place" unless changes are ordered by the Engineer.

The estimated amount of topsoil to cover the areas designated to receive seed, to a minimum depth of 6 inches, is given in the estimate of quantities assuming no shrinkage. Contractor furnished topsoil will not be required.

A portion of the salvaged topsoil quantity shall be used in the construction of topsoil berms. See the erosion and sediment control notes and layouts for additional information. Payment for construction of the topsoil berms shall be considered incidental to the "Excavation, Unclassified" bid item.

Permanent Seeding, Fertilizing and Mulching:

All disturbed areas that will not be paved, graveled, or sodded shall be permanently seeded, fertilized, and fiber mulched according to the Standard Specifications. Seed shall be placed by drilling methods on all areas.

Seed mix shall be the road ditch mix per the Standard Specifications.

In areas where the road ditch mix is used, a cover crop of winter wheat shall be applied at 10 lbs/acre if seeded between August 1 and November 30. Spring wheat shall be used if seeding is completed between December 1 and July 31. Watering will be required according to Section 32.52.19 of the Standard Specifications. Water shall be incidental to the contract bid item, "Seeding, Fertilizing, & Mulching".

Plans quantity will be paid without further measurement.

LOGO:

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605.600.3758



FOR REVIEW ONLY

**FREEDOM TRAIL TURNAROUND
STREET IMPROVEMENTS
SUMMERSET, SOUTH DAKOTA
TDG PROJECT NO. 24-075**

REVISIONS:

JOB NUMBER: 24-075
DESIGNED BY: RW
DRAWN BY: OR
SURVEYED BY:
SURVEY DATE:

SHEET NAME:

GENERAL NOTES 2 OF 2

SHEET NO:

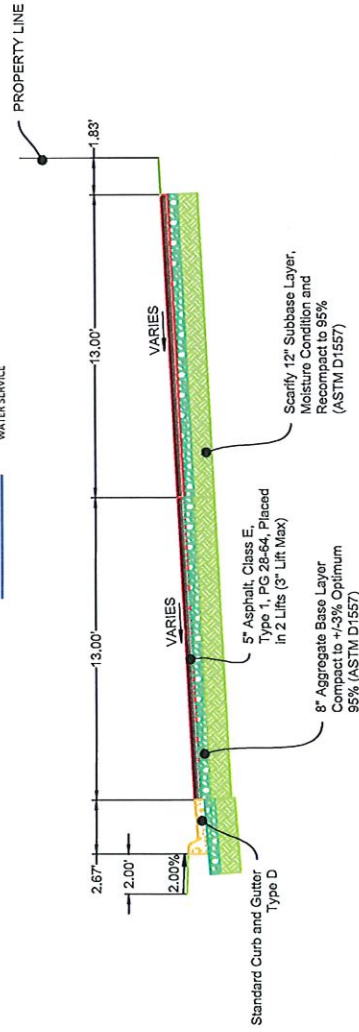
3

EXISTING

	BORE HOLE		ASPHALT
	TRANSFORMER / COMM BOX		BUILDING
	ELECTRIC / COMM BOX		CENTERLINE
	FIRE HYDRANT		CONCRETE
	GATE VALVE		CURB & GUTTER
	SANITARY SEWER CLEANOUT		GAS LINE
	SANITARY SEWER MANHOLE		EDGE OF GRAVEL
	SIGN		FENCE - BARB
	STREET LIGHT		FENCE - CHAINLINK
	TYPE B		FENCE - WOOD
	TYPE E		MAJOR CONTOUR
	TYPE S		MINOR CONTOUR
	TREE		OVERHEAD POWER LINE
	GUY		POWER CONDUIT
			PROPERTY LINE
			RIGHT OF WAY LINE
			RIPRAP
			SANITARY SEWER MAIN
			SANITARY SEWER SERVICE
			SECTION LINE
			SIDEWALK
			STORM SEWER
			WATER MAIN
			WATER SERVICE

PROPOSED

	BEND		ASPHALT
	BORE HOLE		COMMUNICATION LINE
	CAP		CONCRETE
	CROSS		CURB & GUTTER
	DEFLECTION COUPLING		DEMOLITION
	FIRE HYDRANT		DIRECTION OF FLOW
	GATE VALVE		DRAINAGE LINE
	LEFT TURN LANE		EXCAVATION LIMITS
	POST INDICATOR VALVE		EXISTING PROPERTY LINE
	REDUCER		EXISTING SANITARY SEWER MAIN
	RIGHT TURN LANE		EXISTING WATER MAIN
	SANITARY SEWER CLEANOUT		FOUNDATION DRAIN
	SANITARY SEWER MANHOLE		GAS LINE
	SIGN		GRAVEL FILTER SOCKS
	STREET LIGHT		MAJOR CONTOUR
	TEE		MINOR CONTOUR
	TYPE B		PAVEMENT MARKING
	TYPE E		PERIMETER PROTECTION
	TYPE S		POWER CONDUIT
			PROPERTY LINE
			ROOF DRAIN
			RIGHT OF WAY LINE
			RIPRAP
			SANITARY SEWER MAIN
			SANITARY SEWER SERVICE
			SECTION LINE
			SETBACK LINE
			SIDEWALK
			SILT FENCE
			STORM SEWER
			STRAW WATTLE
			TOP SOIL BERM
			WATER MAIN
			WATER SERVICE



FREEDOM TRAIL TURN AROUND



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Logo:

PRELIMINARY
FOR REVIEW ONLY

FREEDOM TRAIL TURN AROUND
STREET IMPROVEMENTS
SUMMERSET, SOUTH DAKOTA
TDG PROJECT NO. 24-075

REVISIONS:

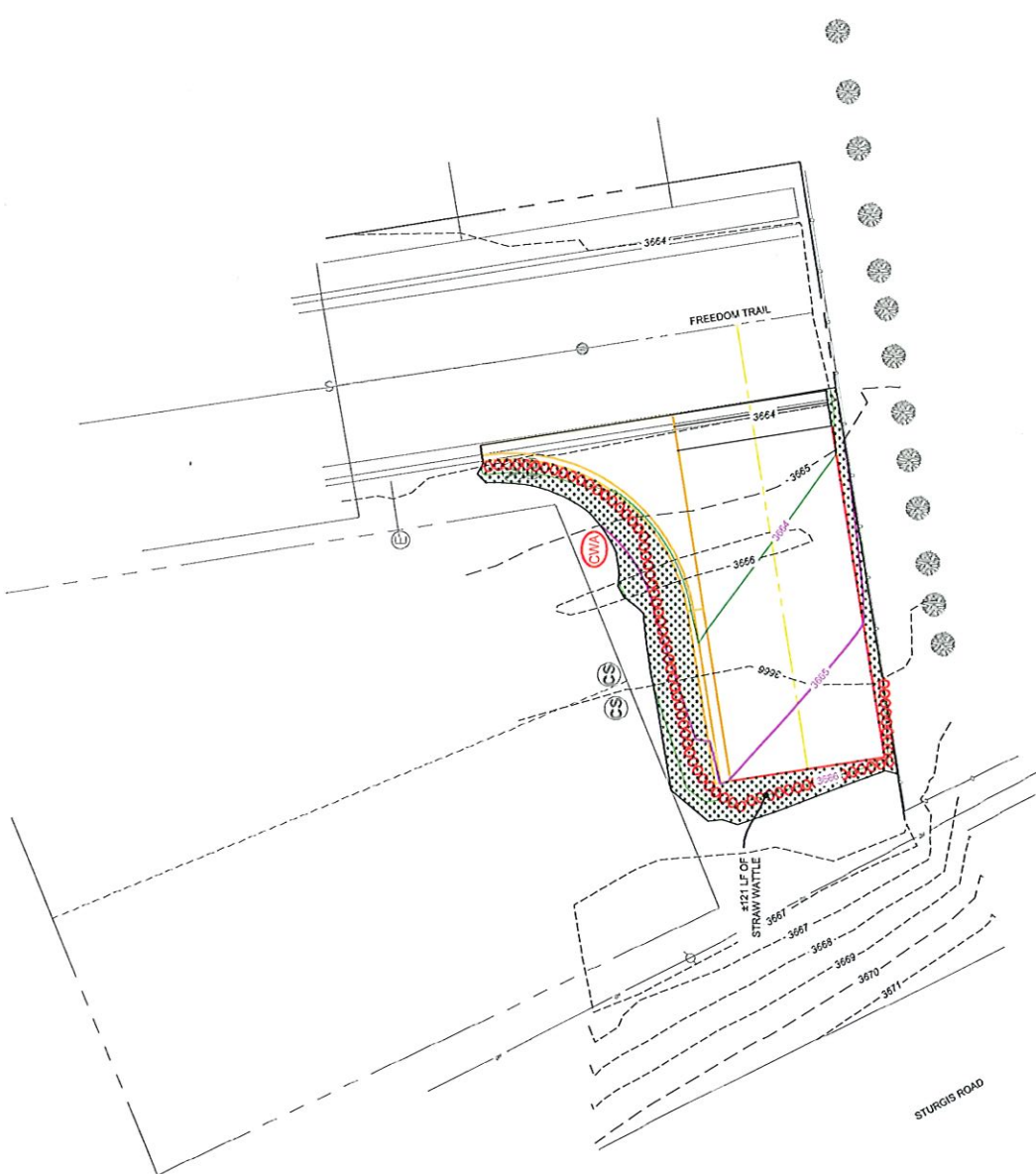
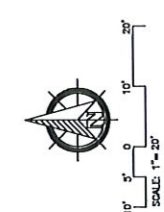
JOB NUMBER: 24-075
DESIGNED BY: RW
DRAWN BY: OR
SURVEYED BY:
SURVEY DATE:

SHEET NAME:
LEGEND

SHEET NO.: 4

- PP PERIMETER PROTECTION
- 00000000000000000000 STRAW WATTLE
- TOP SOIL BERM
- GRAVEL FILTER SOCK
- SILT FENCE
- VTC VEHICLE TRAFFIC CONTROL
- CWA CONCRETE WASHOUT AREA
- INLET PROTECTION

- APPROXIMATE LIMITS OF SEEDING
- 06 SY OF SEEDING RESTORATION



SHEET NAME:
EROSION CONTROL

SHEET NO.:
5

JOB NUMBER: 24-075

DESIGNED BY: RW

DRAWN BY: DR

SURVEYED BY:

SURVEY DATE:

REVISIONS:

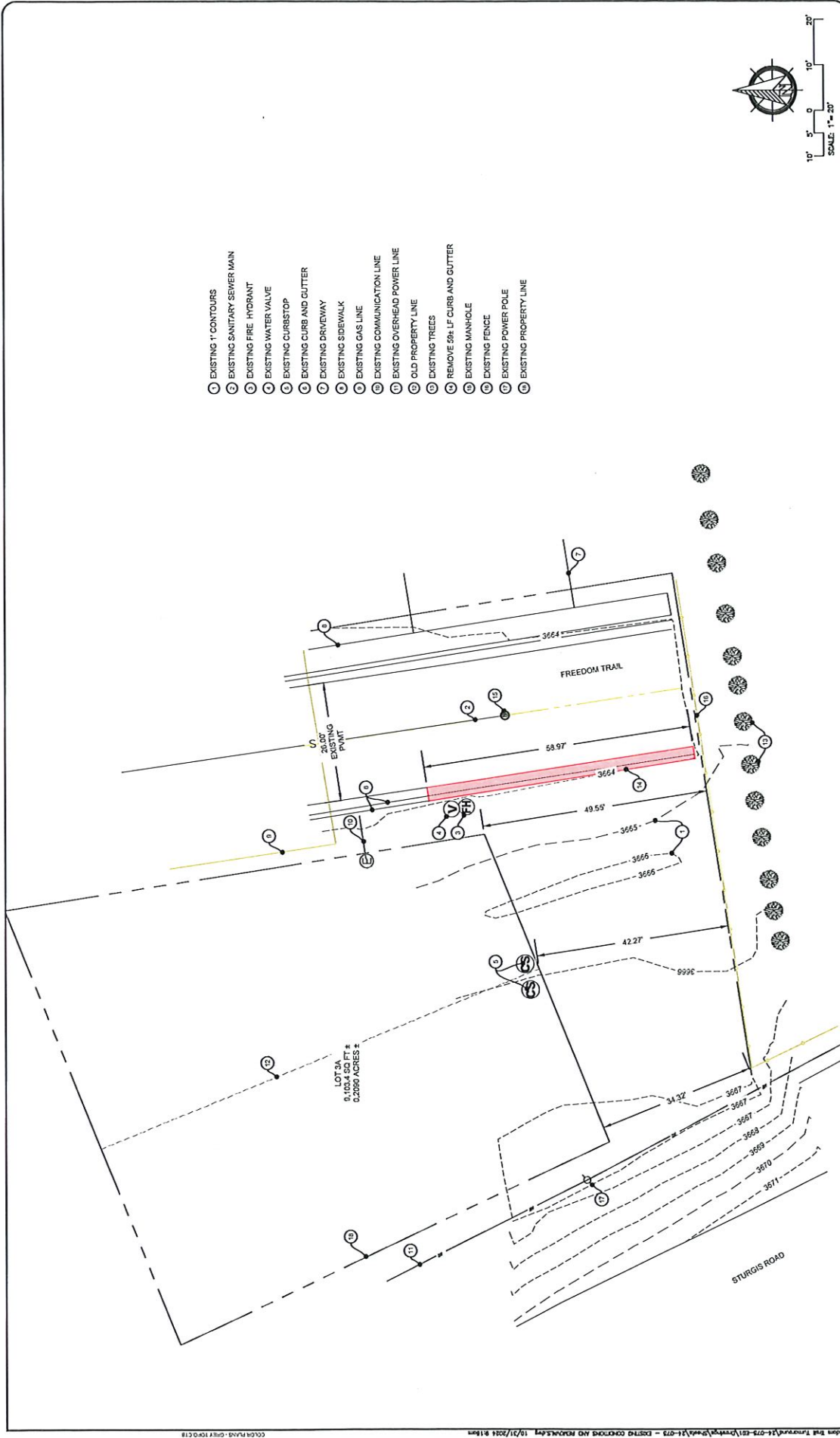
**FREEDOM TRAIL TURNAROUND
STREET IMPROVEMENTS
SUMMERSET, SOUTH DAKOTA
TDC PROJECT NO. 24-075**

**PRELIMINARY
FOR REVIEW ONLY**

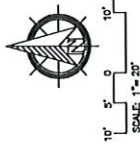
LOC:

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Box Elder, SD 57719
605.600.3758





- ① EXISTING 1" CONTOURS
- ② EXISTING SANITARY SEWER MAIN
- ③ EXISTING FIRE HYDRANT
- ④ EXISTING WATER VALVE
- ⑤ EXISTING CURBSTOP
- ⑥ EXISTING CURB AND GUTTER
- ⑦ EXISTING DRIVEWAY
- ⑧ EXISTING SIDEWALK
- ⑨ EXISTING GAS LINE
- ⑩ EXISTING COMMUNICATION LINE
- ⑪ EXISTING OVERHEAD POWER LINE
- ⑫ OLD PROPERTY LINE
- ⑬ EXISTING TREES
- ⑭ REMOVE 5% LF CURB AND GUTTER
- ⑮ EXISTING MANHOLE
- ⑯ EXISTING FENCE
- ⑰ EXISTING POWER POLE
- ⑱ EXISTING PROPERTY LINE



SHEET NAME:
EXISTING CONDITIONS AND REMOVALS

SHEET NO: 6

JOB NUMBER: 24-075
 DESIGNED BY: RW
 DRAWN BY: OR
 SURVEYED BY:
 SURVEY DATE:

REVISIONS:

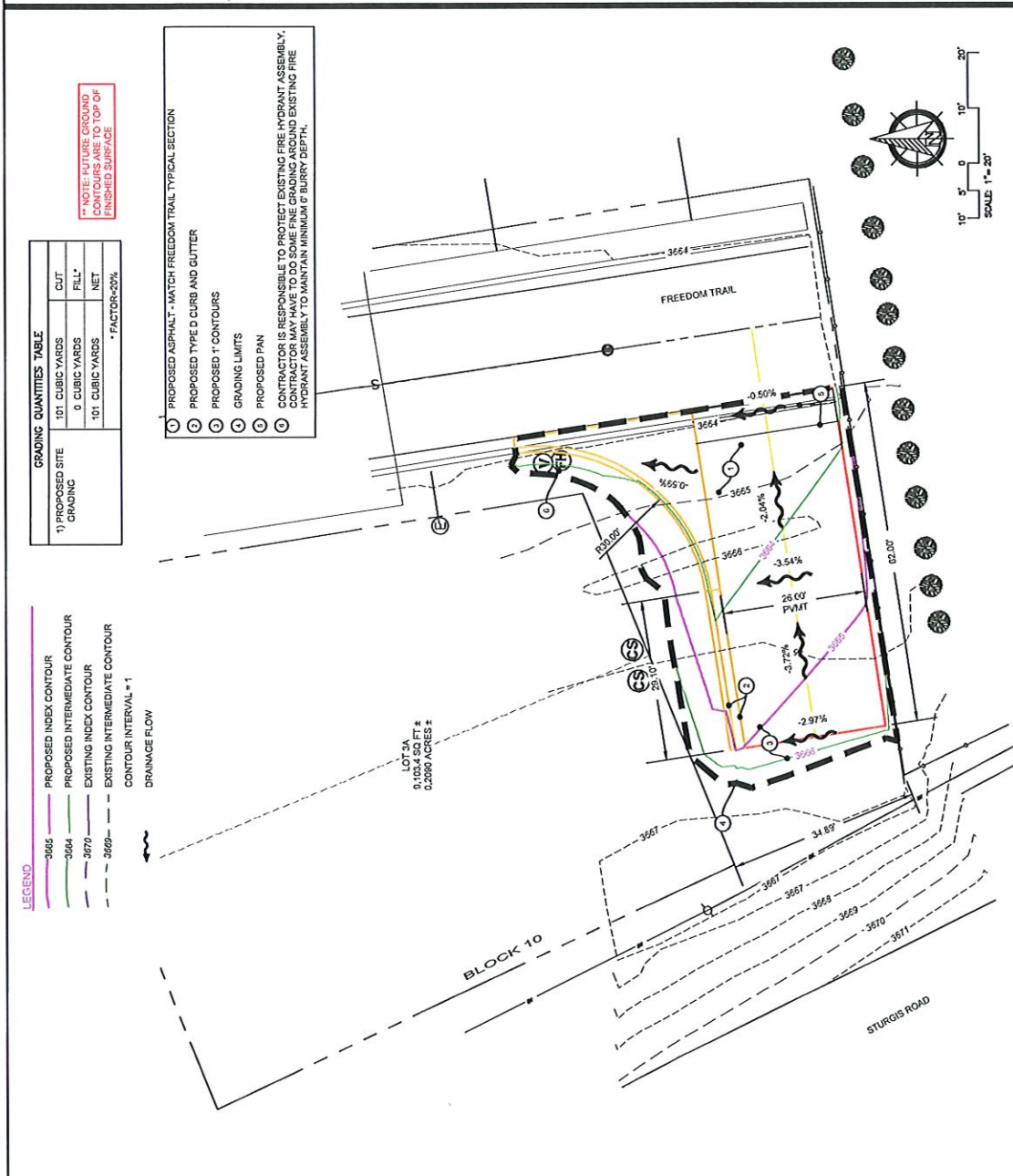
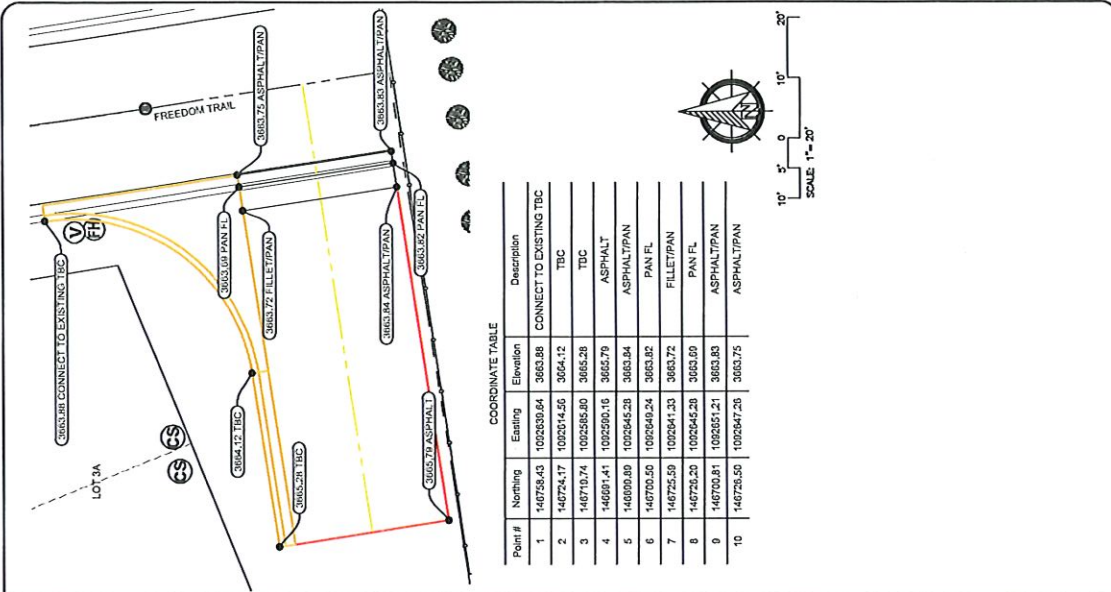
FREEDOM TRAIL TURNAROUND STREET IMPROVEMENTS
 SUMMERSET, SOUTH DAKOTA
 TDG PROJECT NO. 24-075

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LOC:

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REVISIONS:

FREEDOM TRAIL TURNAROUND STREET IMPROVEMENTS SUMMERSET, SOUTH DAKOTA TDG PROJECT NO. 24-075

JOB NUMBER: 24-075

DESIGNED BY: RW

DRAWN BY: OR

SURVEYED BY:

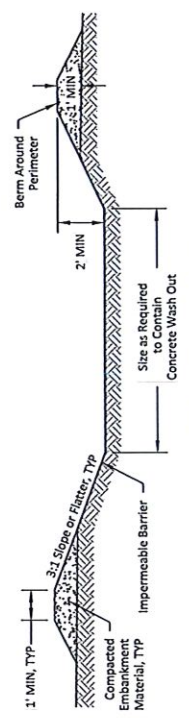
SURVEY DATE:

SHEET NAME: SITE PLAN

SHEET NO: 7

CWA

Concrete Washout Area



CROSS SECTIONAL VIEW

- Notes:**
- Concrete washout area shall be installed prior to any concrete placement on site. The concrete washout area must be self-contained and not connected to any storm water outlet of the site.
 - The concrete washout area shall be sized as necessary to adequately contain the concrete washout from the project. The concrete washout area shall be maintained during the entire project.
 - At the end of construction, all concrete shall be removed from the site and disposed of at an approved waste site.
 - When the concrete washout area is removed, the disturbed area shall be restored to original grade, seeded and mulched or otherwise stabilized as approved by the Engineer.

N.T.S.

CITY OF RAPID CITY PUBLIC WORKS DEPARTMENT
DATE: 8-19-22

CONCRETE WASHOUT AREA

Sec. - Sht. 18-12

JOB NUMBER: 24-075

DESIGNED BY: RW

DRAWN BY: OR

SURVEYED BY:

(SURVEY DATE:

REVISIONS:

FREEDOM TRAIL TURNAROUND
STREET IMPROVEMENTS
SUMNERSET, SOUTH DAKOTA
TDG PROJECT NO. 24-075

PRELIMINARY
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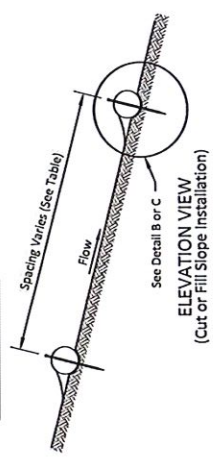


SCW

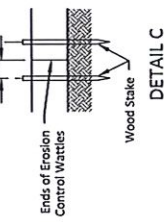
Sediment Control Wattle

CUT OR FILL SLOPE * INSTALLATION

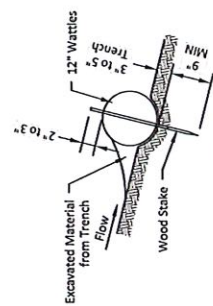
Slope	Spacing (ft)
3:1	10
2:1	20
3:1	30
4:1	40



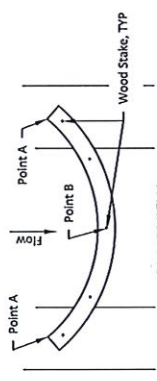
ELEVATION VIEW
(Cut or Fill Slope Installation)



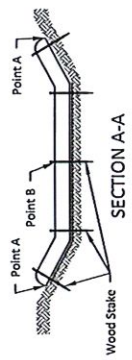
DETAIL C



DETAIL B
(Typical of all installations)



PLAN VIEW
DITCH INSTALLATION



SECTION A-A

- Notes:**
- At cut or fill slope installations, wattles shall be installed along the contour and perpendicular to the water flow.
 - At ditch installations, Point A must be higher than Point B to ensure that water flows over the wattle and not around the ends.
 - The Contractor shall dig a 3" to 5" trench, install the wattle tightly in the trench so that daylight can not be seen under the wattle, and then compact the soil excavated from the trench against the wattle on the uphill side, see Detail B.
 - The stakes shall be 1"x2" or 2"x2" wood stakes, the stakes shall be placed 6" from the ends of the wattles and the spacing of the stakes along the wattles shall be 3" to 4" or per manufacturer spacing.
 - Where installing running lengths of wattles, the contractor shall butt the second wattle tightly against the first and shall not overlap the ends, see Detail C.
 - The Contractor and Engineer will inspect the erosion control wattles in accordance with the permit the Contractor will remove, dispose, or reshape the accumulated sediment when necessary as determined by the Engineer.

DITCH INSTALLATION

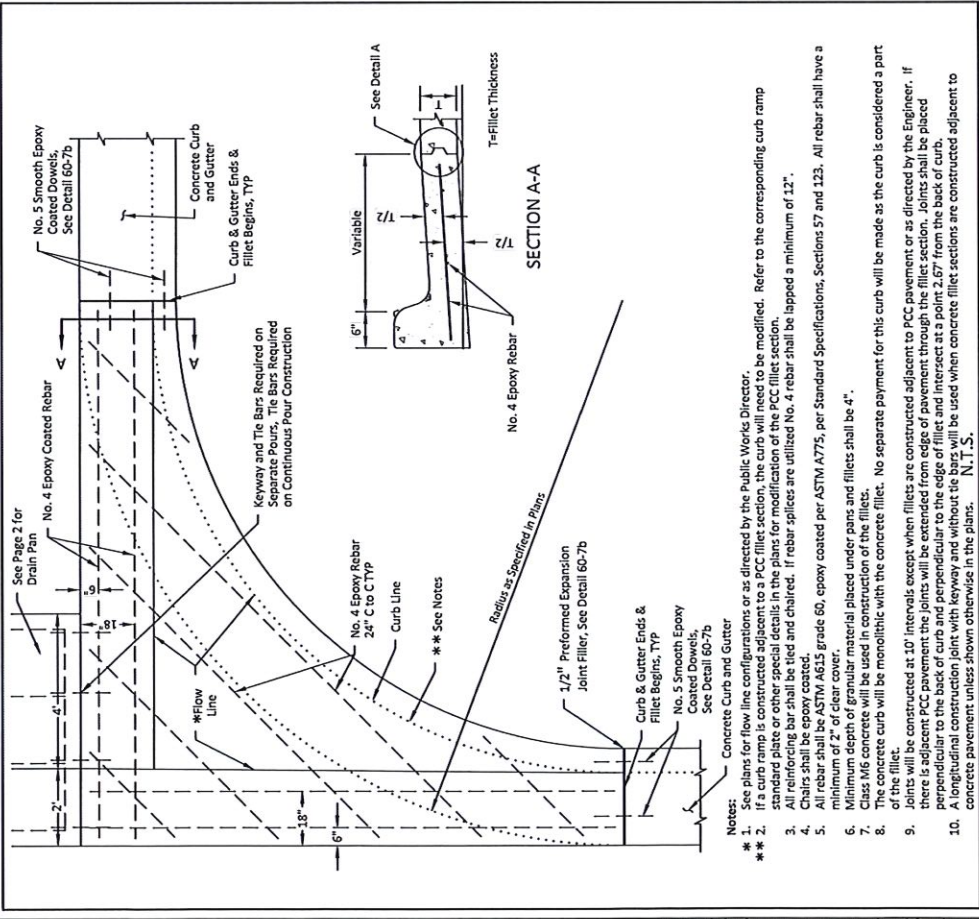
Grade	Spacing (ft)
2%	150
4%	75
5%	50

N.T.S.

CITY OF RAPID CITY PUBLIC WORKS DEPARTMENT
DATE: 8-19-22

SEDIMENT CONTROL WATTLE

Sec. - Sht. 18-5

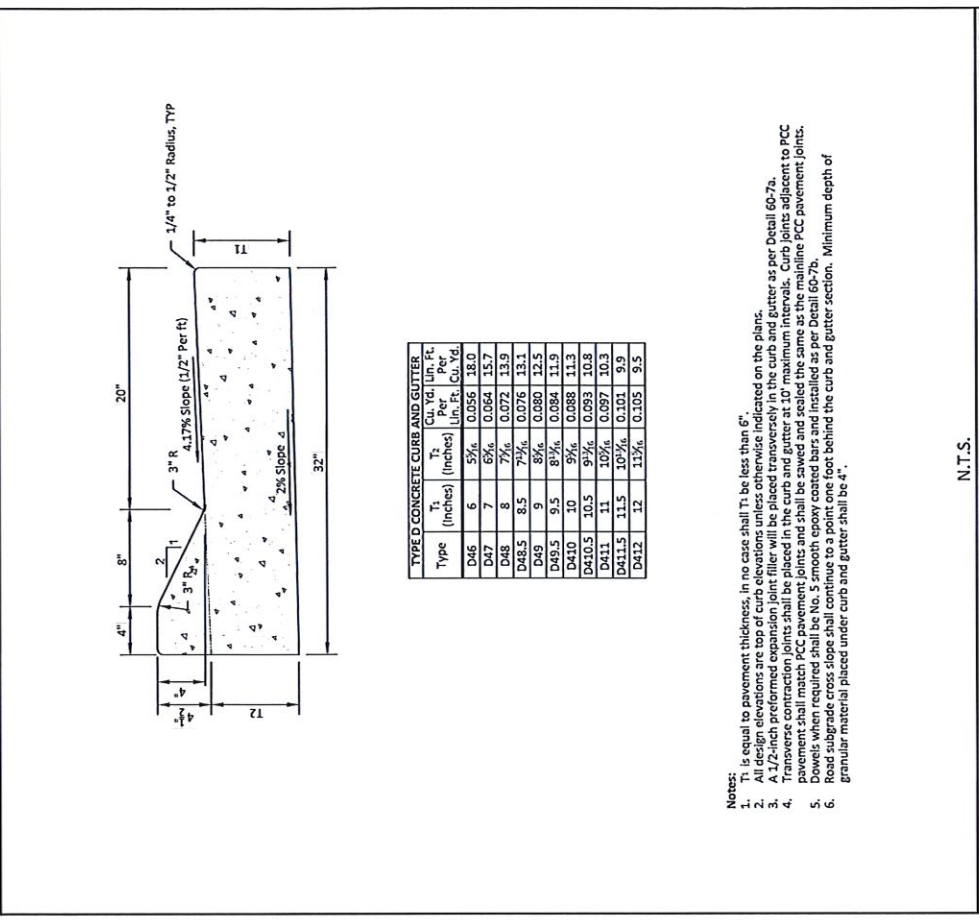


CITY OF RAPID CITY
 PUBLIC WORKS DEPARTMENT
 DATE: 8-19-22
 Sec. - Sht. 60-1a

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 Box Elder, SD 57719
 605.600.3758

LOC:

PRELIMINARY FOR REVIEW ONLY



CITY OF RAPID CITY
 PUBLIC WORKS DEPARTMENT
 DATE: 8-19-22
 Sec. - Sht. 60-2c

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 Box Elder, SD 57719
 605.600.3758

LOC:

PRELIMINARY FOR REVIEW ONLY

TYPE D CONCRETE CURB AND GUTTER			
Type	T ₁ (Inches)	T ₂ (Inches)	Cu. Yd. Lin. Ft. Per Lin. Ft. Cu. Yd.
D46	6	5%	0.056 18.0
D47	7	6%	0.064 15.7
D48	8	7%	0.072 13.9
D48.5	8.5	7 1/2%	0.076 13.1
D49	9	8%	0.080 12.5
D49.5	9.5	8 1/2%	0.084 11.9
D410	10	9%	0.088 11.3
D410.5	10.5	9 1/2%	0.093 10.8
D411	11	10%	0.097 10.3
D411.5	11.5	10 1/2%	0.101 9.9
D412	12	11%	0.105 9.5

- Notes:**
- T₁ is equal to pavement thickness, in no case shall T₁ be less than 6".
 - All design elevations are top of curb elevations unless otherwise indicated on the plans.
 - A 1/2-inch performed expansion joint filler shall be placed in the curb and gutter at 10' maximum intervals. Curb joints adjacent to PCC pavement shall match PCC pavement joints and shall be sawed and sealed the same as the mainline PCC pavement joints.
 - Dowels when required shall be No. 5 smooth epoxy coated bars and installed as per Detail 60-7b.
 - Road subgrade cross slope shall continue to a point one foot behind the curb and gutter section. Minimum depth of granular material placed under curb and gutter shall be 4".

TYPE D CONCRETE CURB AND GUTTER

PCC FILLET SECTION WITH TYPE B CURB AND GUTTER AND DRAIN PAN

SHEET NAME:
DETAILS 2 OF 2

JOB NUMBER: 24-075
 DESIGNED BY: RW
 DRAWN BY: OR
 SURVEYED BY:
 SURVEY DATE:

REVISIONS:

**FREEDOM TRAIL TURNAROUND
 STREET IMPROVEMENTS
 SUMNERSET, SOUTH DAKOTA
 TDG PROJECT NO. 24-075**

LOC:

Towey Design Group, Inc.
 475 Villa Drive, Suite #3
 Box Elder, SD 57719
 605.600.3758





Plat Review

Lot 3A/ Freedom Trail Turnaround

Legal Description

Prepared By: Baseline Surveying, Inc.

Submitted On: Friday, November 1, 2024

Reviewed By: Lindsay Shagla, HDR Engineering, Inc.

Review Date: Thursday, November 7, 2024

The contents of this checklist are based upon the content outlined in the City's Subdivision Ordinances 151 and 155.

The following items have been reviewed for the Plat as defined above:

Plat Content

- Subdivision name shall not duplicate, be the same in spelling, or alike in pronunciation with the name of any other recorded subdivision, unless it is an extension of or adjacent to said subdivision

Comments

- Includes a Scale & North Arrow

Comments

- All Lot and Block Lines are illustrated

Comments

- Bearing & Distances check

Comments **Lot does not close (~2' gap), consider changing Bearing/distances text font to something more legible.**

- Lot & Block numbering pattern is systematic (not scattered)

Comments

- Areas of all Lots is identified in both square footage and acres

Comments

- Lots meet lot width and area requirements

Comments

- For R-3 zoned properties, all required greenspaces are provided

Comments

- All Easements are identified & Include Dimensions

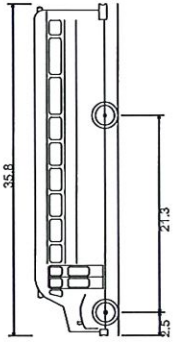
Comments

- Right-of-Ways are dimensioned and widths meet Somerset IDCM requirements

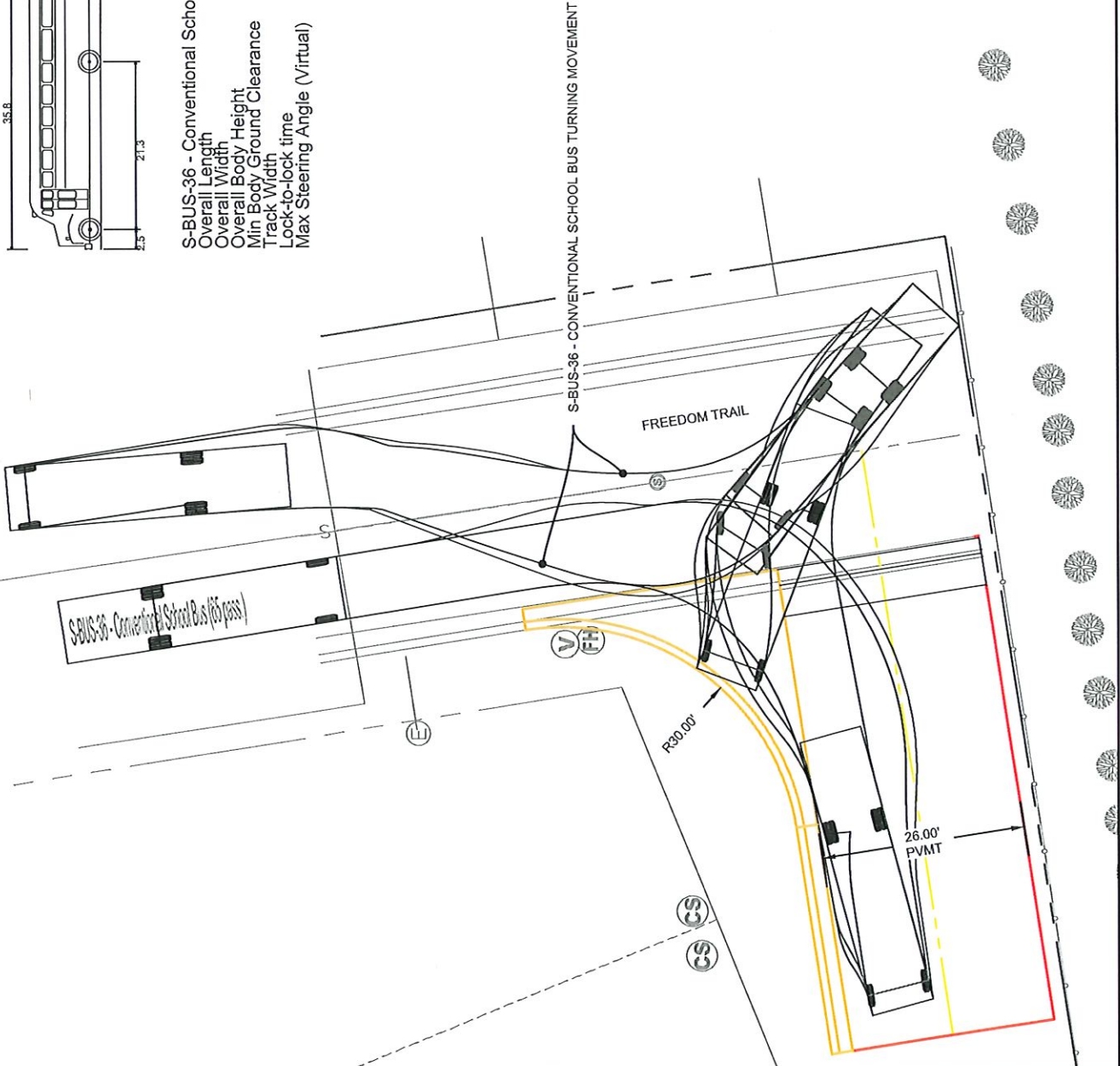
Comments **Need to show Highway 79 ROW width and Outlot E on west side.**

- Names of all adjoining subdivisions, other unplatted properties, and easements are labeled

Comments



S-BUS-36 - Conventional School Bus (65 pass.)
 Overall Length 35.800ft
 Overall Width 21.300ft
 Overall Body Height 9.063ft
 Min Body Ground Clearance 1.184ft
 Track Width 8.000ft
 Lock-to-lock time 5.00s
 Max Steering Angle (Virtual) 37.60°



FREEDOM TRAIL TURNAROUND
 S-BUS TURNAROUND
 MOVEMENT EXHIBIT
 RAPID CITY, SOUTH DAKOTA
 OCTOBER 30, 2024



Towey Design Group
 475 Villa Drive, Suite #3
 Box Elder, SD 57719
 605.600.3758



**PRELIMINARY
 FOR REVIEW ONLY**

**REQUEST FOR EXCEPTION TO
SUMMERSET DESIGN STANDARD / CRITERIA / REGULATIONS**

PROJECT Norman Ranch Subdivision Phase 1A & 1B

DATE: 7-24-24 **SUBMITTED BY:**
(Include Name, Company Name,
Email Address & Phone Number) Ian Garduna, Renner Associates,

PIN #: _____ [REDACTED]

LEGAL DESCRIPTION: SW 1/4 of Section 32, T3N, R7E, BHM, Summerset, Meade County,
South Dakota

EXCEPTION REQUESTED: SECTION 3.12.6.1 **STD / CRITERIA / REG** IDCM

DESCRIPTION OF REQUEST: _____
Allow Qpeak velocity of lower than 2 ft/sec.

JUSTIFICATION:
(Please use back of sheet if additional room is needed) Please see attached narrative.

SUPPORTING DOCUMENTATION: **Yes** **No**

PROPERTY OWNER'S SIGNATURE:** _____ **DATE:** _____

**Or Agent, if previously designated by the Owner in writing.

-----FOR STAFF ONLY-----

STAFF COMMENTS: _____

STAFF RECOMMENDATION: _____

REVIEWED BY: _____ **DATE:** _____

AUTHORIZATION: **APPROVED** **DENIED**

COMMUNITY PLANNING DIRECTOR **DATE**
 APPROVED **DENIED**

PUBLIC WORKS DIRECTOR **DATE**

Revised 07/1/14

FILE #: _____

ASSOCIATED FILE#: _____

Justification

The proposed 8" force main would experience velocities lower than the 2 ft/sec for the initial Phase 1A & 1B portion of Norman Ranch Subdivision. The lower velocities are due to constraints at the existing Summerset Lift Station. The Summerset lift station has capacity to allow Norman Ranch to pump at a peak of approximately 80 gpm. The proposed 8" FM would flow at a rate of approximately 0.5 ft/sec.

It is likely once the Air Release Valves (ARV's) are installed on the existing 6" FM that the existing lift station will have a higher capacity to allow Norman Ranch to pump at a higher rate and increase the velocities in the proposed 8"FM. The table below illustrates the theoretical capacity of the Summerset lift station and the proposed flows for each phase of Norman Ranch.

The 8" FM would meet the 2 ft/sec when approximately 50% of Phase 2 would be constructed.

A 6" FM was evaluated and the smaller size limited the pump availability to only service 1A & 1B only. The contributing flows for 1A & 1B would still not bring the velocities to 2ft/sec similarly to the 8" FM that is being proposed.

The requested exception would be a temporary allowance to operate the 8" FM at lower velocities until the upgrades to the existing Summerset lift station are constructed during Phase 2.

Norman Ranch Sanitary Phasing Plan

Phase	Cumulative Sanitary Flows (GPM)		Schedule
	Average	Peak	
1A	14	58	To be constructed jointly
1B	27	108	
2	118	365	
3	241	967	

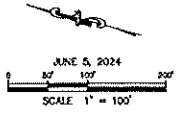
Summer Set Lift Station

The capacity of the Summerset Lift station is currently	160 gpm	
Theoretical capacity upon repairs is	275 gpm	
Existing Flows	50	84
Current available capacity of Summerset Lift Station	76 gpm	
Upon Repairs available capacity of Summerset Lift Station	191 gpm	

If repairs are not completed on the existing Summerset Lift Station (SLS) then improvements will need to be made at Phase 1B of the Norman Ranch Subdivision

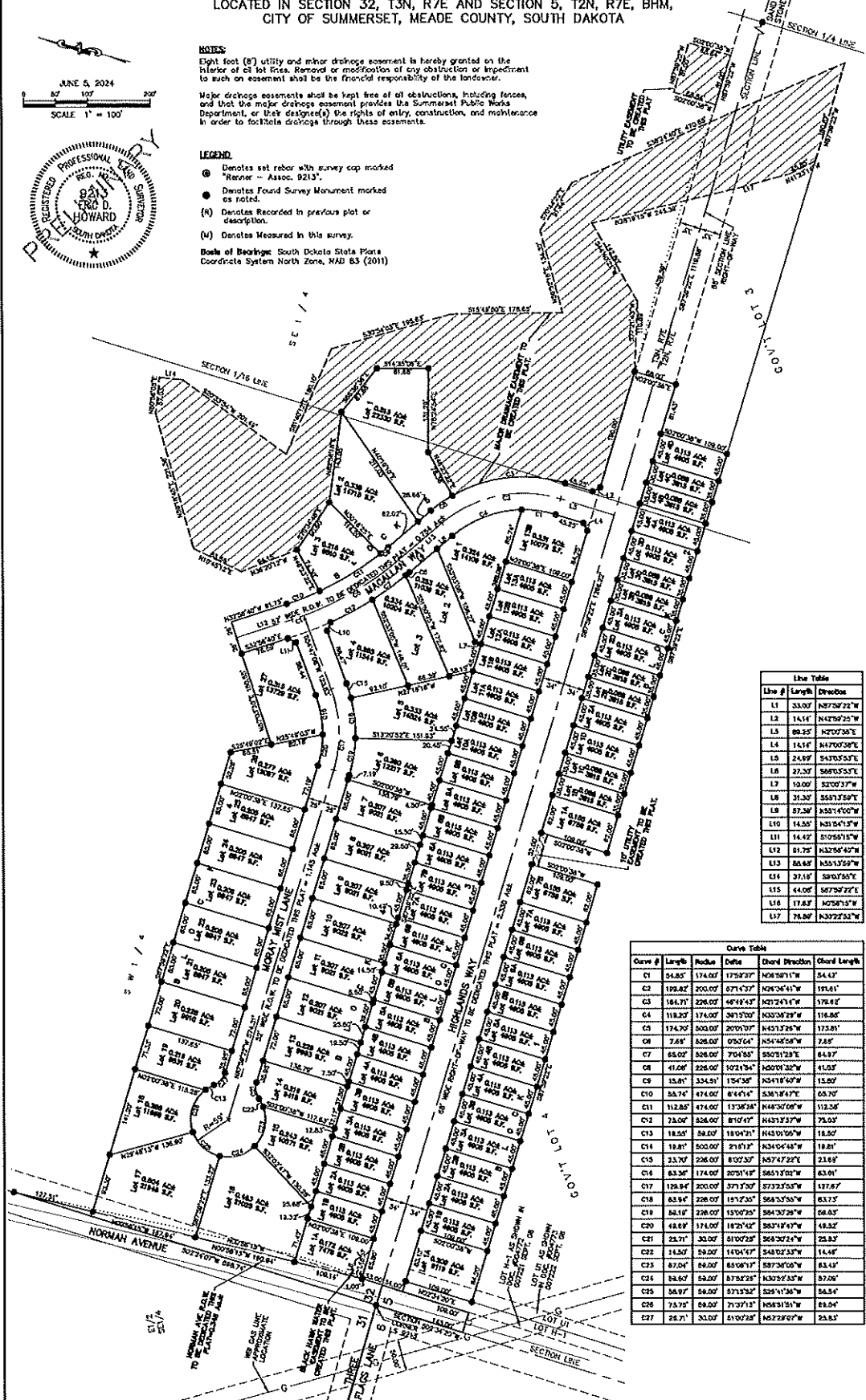
If the SLS air release valve improve the system to 275 gpm then the SLS improvements will need to be made at Phase 2 of the Norman Ranch Subdivision.

PLAT OF
 LOTS 1A & 1B-7A & 7B OF BLOCK 1, LOTS 1A, 1B, 1C, 1D-4A, 4B, 4C, 4D OF BLOCK 2,
 LOTS 1A & 1B-13A & 13B OF BLOCK 3,
 LOTS 1-27 OF BLOCK 4, LOTS 1-3 OF BLOCK 5 &
 MACALLAN WAY, MORAY MIST LANE, HIGHLANDS WAY, & NORMAN AVENUE RIGHT-OF-WAYS
 UTILITY EASEMENT AND MAJOR DRAINAGE EASEMENT,
 NORMAN RANCH SUBDIVISION
 (formerly a portion of the SW1/4 of SW1/4 of Section 32, T3N, R7E and Gov't Lots 3 & 4 of Section 5, T2N, R7E, BHM)
 LOCATED IN SECTION 32, T3N, R7E AND SECTION 5, T2N, R7E, BHM,
 CITY OF SUMMERSET, MEADE COUNTY, SOUTH DAKOTA



NOTES:
 Eight foot (8') utility and minor drainage easement is hereby granted on the interior of all lot lines. Removal or modification of any obstruction or impediment to such an easement shall be the financial responsibility of the landowner.
 Major drainage easements shall be kept free of all obstructions, including fences, and that the major drainage easement provides the SummerSet Public Works Department, or their designee(s) the rights of entry, construction, and maintenance in order to facilitate drainage through these easements.

- LEGEND:**
- ⊙ Denotes set rebar with survey cap marked "Renner - Assoc. 0213".
 - Denotes Found Survey Monument marked as noted.
 - (R) Denotes Recorded in previous plat or description.
 - (M) Denotes Measured in this survey.
- Base of Bearings:** South Dakota State Plane Coordinate System North Zone, NAD 83 (2011)



Line Table		
Line #	Length	Direction
L1	33.00'	N87°02'22"W
L2	14.14'	N42°00'20"W
L3	68.32'	N2°02'30"E
L4	14.14'	N47°00'30"E
L5	24.87'	S47°03'53"E
L6	27.20'	S80°03'53"E
L7	10.00'	S2°02'37"W
L8	31.30'	S53°12'59"E
L9	57.20'	S33°14'00"W
L10	14.20'	N20°04'15"W
L11	14.42'	S1°05'10"W
L12	61.70'	N32°06'45"W
L13	88.43'	N53°12'59"E
L14	37.10'	S80°03'53"E
L15	44.00'	S87°04'22"E
L16	17.82'	N50°01'15"W
L17	78.20'	N32°02'32"W

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	54.85'	174.00'	175°03'37"	N04°00'17"W	54.43'
C2	192.82'	200.00'	67°14'37"	N26°34'17"W	191.61'
C3	184.71'	226.00'	48°44'43"	N21°24'47"W	178.42'
C4	118.20'	174.00'	287°37'00"	N33°04'29"W	116.86'
C5	174.70'	200.00'	207°07'04"	N45°12'36"W	173.28'
C6	7.68'	326.00'	0°02'04"	N54°02'04"W	7.67'
C7	65.00'	326.00'	7°04'30"	S50°12'37"E	64.87'
C8	41.00'	226.00'	107°12'54"	N20°04'30"W	41.00'
C9	15.81'	324.00'	1°54'38"	N54°18'40"W	15.80'
C10	56.74'	474.00'	8°46'44"	S36°18'47"E	55.70'
C11	112.80'	474.00'	17°28'34"	N48°07'00"W	112.20'
C12	74.00'	426.00'	8°10'47"	N43°12'37"W	73.00'
C13	18.50'	58.00'	18°02'41"	N43°01'00"W	18.50'
C14	19.81'	500.00'	7°01'17"	N24°04'45"W	19.81'
C15	33.70'	226.00'	8°02'30"	N57°47'27"E	33.69'
C16	83.30'	174.00'	20°01'14"	S65°19'02"W	83.01'
C17	199.94'	200.00'	37°13'00"	S73°23'53"W	197.67'
C18	63.94'	226.00'	15°12'00"	S68°53'50"W	63.73'
C19	38.10'	226.00'	13°02'00"	S64°30'28"W	38.03'
C20	48.80'	174.00'	18°20'42"	S67°49'47"W	48.32'
C21	23.70'	30.00'	91°02'28"	S68°30'24"W	23.83'
C22	14.50'	59.00'	14°04'47"	S48°02'33"W	14.48'
C23	87.00'	89.00'	65°06'17"	S87°30'00"W	83.43'
C24	38.60'	59.00'	67°02'28"	N30°29'35"W	37.20'
C25	36.90'	59.00'	57°13'22"	S28°41'36"W	36.54'
C26	73.75'	89.00'	71°37'13"	N58°31'51"W	89.04'
C27	28.71'	30.00'	61°02'28"	N62°29'07"W	28.83'

PLAT OF
**LOTS 1A & 1B-7A & 7B OF BLOCK 1, LOTS 1A, 1B, 1C, 1D-4A, 4B, 4C, 4D OF BLOCK 2,
 LOTS 1A & 1B-13A & 13B OF BLOCK 3,
 LOTS 1-27 OF BLOCK 4, LOTS 1-3 OF BLOCK 5 &
 MACALLAN WAY, MORAY MIST LANE, HIGHLANDS WAY, & NORMAN AVENUE RIGHT-OF-WAYS
 UTILITY EASEMENT AND MAJOR DRAINAGE EASEMENT,
 NORMAN RANCH SUBDIVISION**

(formerly a portion of the SW1/4 of SW1/4 of Section 32, T3N, R7E and Gov't Lots 3 & 4 of Section 5, T2N, R7E, BHM)
 LOCATED IN SECTION 32, T3N, R7E AND SECTION 5, T2N, R7E, BHM,
 CITY OF SUMMERSET, MEADE COUNTY, SOUTH DAKOTA

THE SUBJECT PROPERTY FALLS IN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN) AS SHOWN IN THE FLOOD INSURANCE RATE MAP (FIRM), MAP NUMBER 46093C1781F, EFFECTIVE DATE OF SEPTEMBER 16, 2011.

CERTIFICATE OF OWNERSHIP

I, the undersigned, do hereby certify that I am the owner of the tract of land shown and described herein, that said land is free from any encumbrance, that I did authorize and do hereby approve the survey and within plot of said land for the purposes indicated herein. I further certify that the development of this land shall conform to all existing applicable zoning, subdivision, erosion and sediment control regulations.

Any land shown on the within plot as dedicated to public right-of-way is hereby dedicated to public use and public utility use as such forever, but such dedication shall not be construed to be a donation of the fee of such land.

In witness whereof, I have set my hand and seal.

OWNER: NORMAN RANCH SUBDIVISION, LLC.

BY: _____

ACKNOWLEDGMENT OF OWNERSHIP

State of South Dakota
 County of Meade S.S.

On the _____ day of _____, 20____, before me, a Notary Public, personally appeared _____ at Norman Ranch Subdivision, LLC, known to me to be the person described in this foregoing instrument and acknowledged to me that he signed the same.

NOTARY PUBLIC: _____

My commission expires: _____

APPROVAL BY HIGHWAY OR STREET AUTHORITY

The location of the proposed access to the Highway or Street as shown herein is hereby approved. Any change in the location of the proposed access shall require additional approval.

Dated this _____ day of _____, 20____.

 Highway or Street Authority

CERTIFICATE OF HIGHWAY OR STREET AUTHORITY

State of South Dakota
 County of Meade S.S.

The location of the proposed access road to the County or State Highway or City Street as shown herein, is hereby approved. Any change in the location of the proposed access shall require additional approval.

Dated this _____ day of _____, 20____.

 Highway or Street Authority

CERTIFICATE OF COUNTY TREASURER

I, Treasurer of Meade County, South Dakota, do hereby certify that all taxes, which are hereon upon the within described lands are fully paid according to the records in my office.

Dated this _____ day of _____, 20____.

 Meade County Treasurer

CERTIFICATE OF REGISTER OF DEEDS

State of South Dakota
 County of Meade S.S.

Filed for record this _____ day of _____, 20____, at _____ o'clock _____ M. in Book _____ of Plots, Page _____.

 Register of Deeds



CERTIFICATE OF SURVEYOR

State of South Dakota
 County of Pennington S.S.

I, Eric D. Howard, Registered Land Surveyor No. 9213 in the State of South Dakota, do hereby certify that at the request of the owners stated herein, I have surveyed the tract of land shown, and to the best of my knowledge and belief, the within plot is a representation of said survey. Easements or restrictions of miscellaneous record or private easements that are not known to me are not shown herein.

In witness whereof, I have hereunto set my hand and seal.

 Eric D. Howard, Registered Land Surveyor Date: _____

CERTIFICATE OF PLANNING COMMISSION

The City of Summerset Planning and Zoning Commission certifies it has reviewed the final plat and hereby recommends approval to the City Commission of the City of Summerset, South Dakota.

Dated this _____ day of _____, 20____.

 Planning Commission Member

CERTIFICATE OF DIRECTOR OF EQUALIZATION

I, Director of Equalization of Meade County, South Dakota, do hereby certify that I have on record in my office a copy of the within described plat.

Dated this _____ day of _____, 20____.

 Meade County Director of Equalization

CERTIFICATE OF CITY FINANCE OFFICER

I, Finance Officer of the City of Summerset, South Dakota, do hereby certify that the foregoing instrument is a true and correct copy of the resolution adopted by the City Commission of City of Summerset, South Dakota, at a meeting held on the _____ day of _____, 20____.

 Finance Officer Date

CERTIFICATE OF CITY FINANCE OFFICER

I, Finance Officer of the City of Summerset, South Dakota, do hereby certify that all special assessments which are hereon upon the within described lands are fully paid according to the records of my office.

Dated this _____ day of _____, 20____.

 Finance Officer

RESOLUTION OF CITY COMMISSION

Whereas there has been presented to the City Commission of the City of Summerset, South Dakota, the within plot of the above described lands, and it appears to this Council of Commissioners that:

- a. The system of streets set forth therein conforms to the system of streets of the existing plat of the City;
- b. all provisions of the City subdivision regulations have been complied with;
- c. all taxes and special assessments upon the tract or subdivision have been fully paid; and
- d. such plot and survey thereof have been executed according to law.

NOW THEREFORE, BE IT RESOLVED that said plat is hereby approved in all respects.

Dated at Summerset, South Dakota this _____ day of _____, 20____.

 Mayor Date

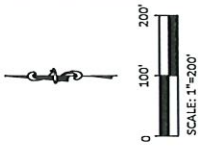
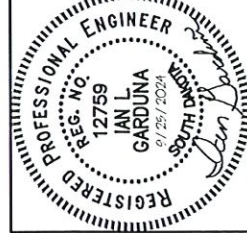




Norman Ranch Subdivision Phase 1A

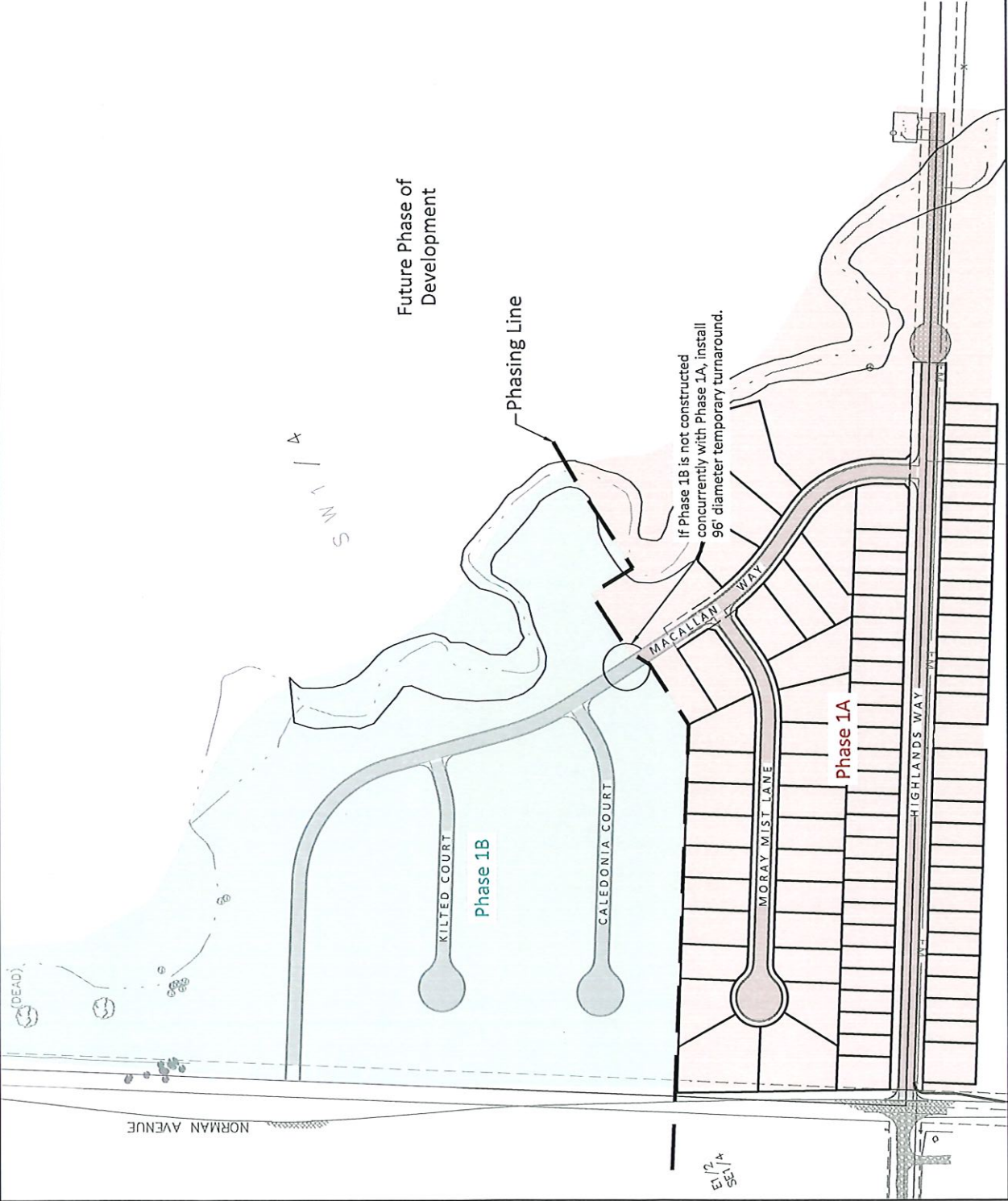
Prepared By:	JRC/KDD
Checked By:	JRC/KDD
Design Date:	9/25/24
Issue Date:	9/25/24
Revised By:	
Revised Date:	
Version:	02/2021
Version:	9/25/24
Re-issued:	100% CD
Prepared For:	Norman Ranch, LLC
	1624 Concourse Dr
	Rapid City, SD 57703

Internal Job No:	2493.01
Sheet Title:	Phasing Plan
Scale:	3.1



Legend

Phase 1A	[Pink Box]
Phase 1B	[Light Blue Box]



Norman Ranch Design Exception Request (11-01-24)

Review Comments (11/05/24)

1. Utility report states “The proposed 8" force main would experience velocities lower than the 2 ft/sec for the initial Phase 1A &1B portion of Norman Ranch Subdivision.”
 - a. An 8" FM would experience a 0.5 ft/s velocity until the pumps are replaced. It is not clear when pump replacement is proposed.
 - b. **Norman Ranch Response: Pumps would be ordered spring of 2025 with City review of shop drawings. Ideally – the Summerset Lift Station forcemain air release valves would be replaced prior to this time and a new pump test conducted. In which case upgraded pumps would be ordered with the initial installation. Otherwise new pumps would be ordered at phase 2.**
2. Utility Report States “The lower velocities are due to constraints at the existing Summerset Lift Station.”
 - a. Velocity is a function of pipe size and flow rate. A 4" diameter pipe could achieve a 2 ft/s velocity with a similar pump as proposed.
 - b. **Norman Ranch Response: Agreed. The essence of the request is that a 4" or 6" main limit the potential for growth downstream without the installation of a second force main. By installing an 8" (or 10" as originally proposed) line initially it allows us to budget for Summerset Lift Station Improvements and Norman ranch Pump Upgrades with Phase 2. Our ability to do all three (upgrade summerset lift station, Norman ranch pumps and force main) is not possible within current lot value/improvements conditions.**
3. Utility Report states “The Summerset lift station has capacity to allow Norman Ranch to pump at a peak of approximately 80 gpm.”
 - a. The existing Summerset Lift Station capacity is 160 gpm. The calculated current peak inflow from its existing service area is 165 gpm. The only available existing capacity is associated with actual vs calculated peak flow rates which are unknown. It appears the average day flow is being utilized to determine available capacity.
4. Utility Report states “The proposed 8" FM would flow at a rate of approximately 0.5 ft/sec.”
5. Utility Report states “It is likely once the Air Release Valves (ARV's) are installed on the existing 6" FM that the existing lift station will have a higher capacity to allow Norman Ranch to pump at a higher rate and increase the velocities in the proposed 8"FM.”
 - a. Are larger Norman Ranch Lift Station pumps proposed to be installed after improvements are made to the Summerset Lift Station as this statement implies?
 - b. **Norman Ranch Response: Yes, and ideally sooner per above.**
6. Utility Report states “The table below illustrated the theoretical capacity of the Summerset lift station and the proposed flows for each phase of Norman Ranch.”
 - a. See above response related to theoretical capacity of the Summerset lift station.
7. Utility Report states “The 8" FM would meet the 2 ft/sec when approximately 50% of Phase 2 would be constructed.”

- a. Are Norman Ranch LS improvements proposed during phase 2? If so, the timing does not match the table presented in the revised Utility Report where Norman Ranch LS improvements are not proposed until phase

The table below is an anticipated schedule of improvements based on the phasing for Norman Ranch.

Norman Ranch Sanitary Phasing Plan

Phase	Cumulative Sanitary Flows (GPM)		Schedule
	Average	Peak	
1A	14	58	To be constructed jointly
1B	27	108	
2	118	365	CWLS upgrades required
3	241	967	Norman Ranch Improvements

- b. **Norman Ranch Response: Yes, Improvements to the City of Summerset and Norman Ranch Lift Station are planned in Phase 2, to be designed during those phases.**
8. Utility Report states “A 6” FM was evaluated and the smaller size limited the pump availability to only service 1A & 1B only. The contributing flows for 1A & 1B would still not bring the velocities to 2ft/sec similarly to the 8” FM that is being proposed.”
- a. The selected pump cannot serve phase 1A and 1B without peak equalization in the wetwell. A 6” forcemain has no affect on the current pumps ability to serve future phases, the pump is limited by a peak flow of 80 gpm for both scenarios.
- b. **Norman Ranch Response: Agree that the current limiting flow is due to the Summerset Lift Station and per the developers agreement understand that it will need to be upgraded with phase 2. The friction head loss within the 6” main begins to limit flow given currently available commercial pumps as flow increases.**
9. Exception Request states ““The requested exception would be a temporary allowance to operate the 8” FM at lower velocities until the upgrades to the existing Summerset lift station are constructed during Phase 2.”
- a. Pipe velocities below 2.0 ft/s would remain until the pumping capacity is increased to 315 gpm or greater. Impacts to other infrastructure (gravity sewers and WWTP) have not been identified for this flow rate. For reference, the existing capacity of the WWTP is 0.53 MGD peak. A Norman Ranch Lift Station flow of 315 gpm equates to 0.45 MGD (85% of the total peak capacity).
- b. **Norman Ranch Response: Per the Developers agreement and discussion with the City that led to the design of a 10” main we understand and know that additional upgrades to the city’s pump station will be required. If we select anything smaller than an 8” forcemain it ensures that we will also have to install a secondary forcemain with phase 2 due to the resultant friction loses in a 6” or smaller main. The current cost of the forcemain is nearly \$2,000,000 as bid. In order to provide the greatest regional good, and in accordance with the agreement, we believe that installing an 8” allows for the greatest benefit to the city of summerset, allows for reginal growth flexibility and allows the developers reasonable financial expectations to upgrade the existing city lift station with phase 2. A pigging station**

was added to the forcemain to help with maintenance and cleaning that may be expected with lower velocities. If the city has concerns with added maintenance I would also add that we could extend the warranty on the Norman Ranch Pump until Phase 2 beyond; the 2 year mark already provided in the developers agreement.

Norman Ranch Utility Report (11-01-24)

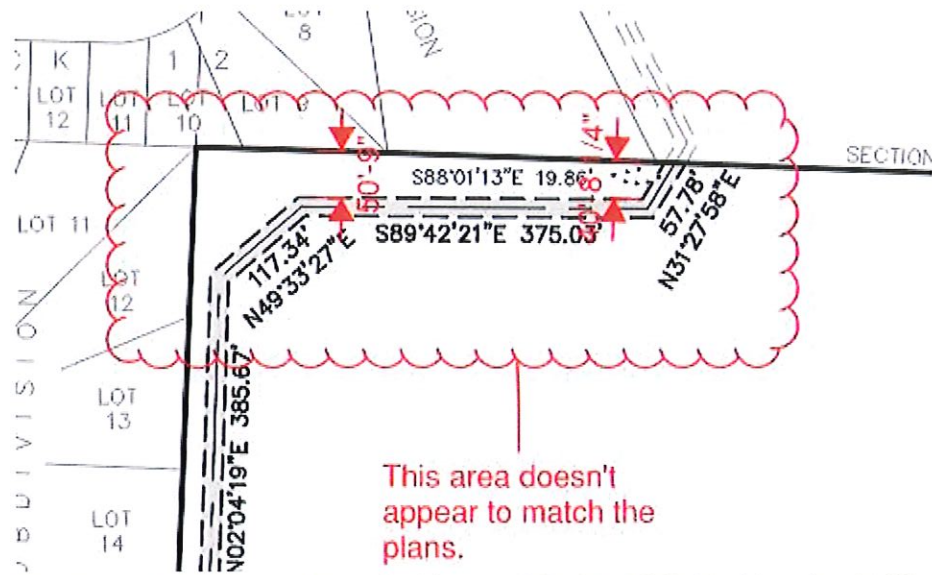
Review Comments (11/08/24)

10. A meeting took place where HDR suggested addressing a list of items associated with a lift station design. Items that were requested to be addressed but are either absent or lacking detail:
 - a. Odor control
 - b. Data for all proposed valves (check, isolation, air and vacuum)
 - c. Inclusion of a flow meter
 - d. Noise control
 - e. Power plan
 - f. Instrumentation and Controls (pump control logic, proposed instruments, plc inputs, alarms/communication)
 - g. Design FM to convey a pig (pig launch added at lift station but its unclear if valves are full port).
 - h. The proposed air release valve is for water and not appropriate for wastewater service. The valve is air release only, combination valves are anticipated to be required is some locations.

Norman Ranch Subdivision Sanitary Force Main & Water Main Plans (11-01-24)

Review Comments (11/08/24)

11. New aerial on Sheets 5.11-5.20, appears to be covering property line and topographic survey linework.
12. Missing a section of forcemain in profile view on Sheet 5.15.
13. Alignment of sewer in on the north side of Tract C of Lot 3 appears closer to the lot line than what is shown in the easement exhibit, confirm which alignment is correct and update documents, see below



This is from Exhibit A for Tract C of Lot 3 of NE1/4 of SW1/4 of Section 31 (dated 6/5/2024), if there is a newer version that is correct, please submit.

14. Minimum bury depth for the 8" forcemain should be 6' currently showing less than this from ~Sta. 91+60 to Sta. 95+85. If this is to be left as shown Engineer should submit a design exception and should consider insulation where less than 6' of cover is provided.
15. Electrical plans are not included.
 - a. Will 3-phase power be available at the site?
 - b. Type and location of pump control panel enclosure?
 - c. Heated and air conditioned?
 - d. Alarms?
 - e. SCADA capabilities?
 - f. Generator specifications have not been provided.
 1. Potential concerns - sound enclosure, heated and ventilated, adequate foundation?
16. Pump specifications were not provided.
 - a. City to have ability to approve final pump selection?
 - b. What type of drive (constant speed or variable)?
17. A building has been added to the recent plan revisions. Building details and specification have not been provided.
 - a. An "Odor Control Dosing System" is called out on the lift station site drawing. No other information has been provided on the system. There does not appear to be access to the tank for exchange/refill. No pumps, controls, or other odor control system components are included.
18. Verify jib location and capacity.
 - a. Specifications for jib crane have not been provided.
 - b. Will this be able to lift the larger future pumps (Phase 2/3)?
19. Pig Launch Chamber opening is adjacent to the vault wall. Verify adequate space is provided for pig insertion.

Norman Ranch Phase 1A Plans (9-25-24)

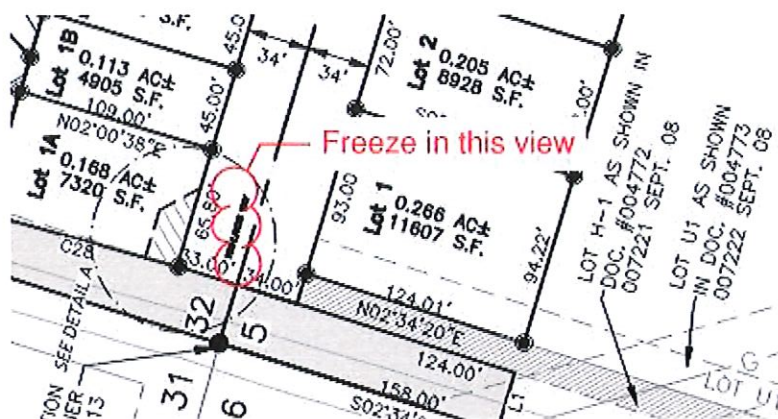
Review Comments (11/08/24)

20. Will need USACE jurisdiction determination/approval prior to 15" storm culvert and riprap from the pond, the 72" culverts and riprap and gravel road installation work in existing drainage.

Preliminary Plat Document Phase 1A Norman Ranch

Review Comments (11/08/24)

21. Freeze small "Highlands Way" text on overall plat, see below:



Outstanding Coordination Items

22. Permit for work in the RCPE Railroad right-of-way: Received filed permit needs to be finished by Contractor.
23. Meade County permit for utility work in Norman Ranch Rd. and Three Flags Ln.: Received filed permit, need final approved permit.
24. Approach Permit from Meade County: Received filed permit, need final approved permit.
25. Approval from SDDANR for Norman Ranch Subdivision: Approved with conditions.
26. Approval from SDDANR for Norman Ranch Sanitary Force Main and Water Main plans and specifications: Approved with conditions.
27. SDDANR Stormwater Discharge for Norman Ranch Subdivision: Received approved permit.
28. Correspondence from U.S. Army Corp of Engineers for work in the drainage/potential wetland area: Developer has indicated an environmental study is on-going.
29. Utility easements: Received Exhibit A for Tract C of Lot 3 of NE1/4 of SW1/4 of Section 31 (dated 6/5/2024) and Exhibit A for Lot 2B of Recreational Park Estates (dated 6/5/2024), will need finalized easement after City approval.
30. Approval from Black Hawk Water Users District: Received approval letter.
31. Approval from Black Hawk Volunteer Fire Department: Received approval letter.

32. Approval from SDDOT for work in I-90 and Sturgis Rd. right-of-way: Received correspondence between Developer and SDDOT, need approved permit.

This list is for tracking, we understand some of these are dependent on City's approval before they are finalized.